

DEVELOPMENT AGREEMENT
EXHIBIT M
KYLE CANYON DEVELOPMENT STANDARDS
AND
ARCHITECTURAL DESIGN GUIDELINES

10.21.2011

KYLE CANYON

City of Las Vegas, Nevada
Planning & Development Department

Prepared For:



Prepared By:



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Introduction

Kyle Canyon is a master planned community consisting of approximately 1,650 acres in the northwest region of Las Vegas. It is located on either side of US 95 with the primary access from Horse Drive. The community, zoned for up to 9,000 dwelling units (maximum) features a variety of land uses and infrastructure improvements that enhance and protect the quality of life for residents and visitors alike.

Kyle Canyon Master Plan Land Use Categories

- *Residential Low (maximum 15 du/ac; average 5.49 du/ac)*
The purpose of the Residential Low Category is to provide for the development of single-family detached dwellings, duplex units and other customary residential uses with an average density not to exceed 5.49 du/ac.
- *Residential Medium Low (maximum 15 du/ac; average 8.49 du/ac)*
The purpose of the Residential Medium Low Category is to provide for the development of single-family detached dwellings, duplex units and other customary residential uses on a smaller lot size with an average density not to exceed 8.49 du/ac.
- *Residential Medium Low – Attached (maximum 25 du/ac; average 12.49 du/ac)*
The purpose of the Residential Medium Low - Attached Category is to provide for the development of single-family detached dwellings on smaller lots, as well as single-family attached units and medium density apartments with an average density not to exceed 12.49 du/ac.
- *Blended Land Uses (maximum 50 du/ac; average 15 du/ac)*
The Blended Land Use category is established to encourage the creation of dynamic neighborhoods that allow for a mix of residential and/or non-residential uses on the same site or within the same building with an average density not to exceed 15 du/ac.
- *General Commercial*
The General Commercial land use category is intended to provide a broad range of retail shopping, personal services for both the general and travelling public. This category allows retail, service, automotive, wholesale, office and other general business uses.
- *Gaming*
The intent of the Gaming land use category is to reflect the implementation of the provisions of LVMC Chapter 6.5 and State law that pertain to gaming enterprise districts.
- *Schools*
The purpose of the Schools land use category is to provide for the development of new school sites to serve residents of Kyle Canyon and the surrounding areas.

- ***Parks and Open Space***

The purpose of the Parks and Open Space land use category is to provide for active and passive recreational amenities, including natural open space, serving residents of Kyle Canyon and the surrounding areas.

- ***Infrastructure including roadways, public facilities, detention basins, electrical sub-stations, utility easements, etc.***

Within all Kyle Canyon land use categories, public facilities shall be in accordance with the Civic (C-V) category of the City of Las Vegas Unified Development Code.

Zoning

The Kyle Canyon Development Standards contained herein provide the Zoning criteria for the implementation of the residential land uses within the Kyle Canyon Master Plan. Where the Modified Standards are silent on a specific issue, the provisions of the City of Las Vegas Unified Development Code, Title 19, in effect at the time of adoption of the Kyle Canyon Development Standards shall apply and are so attached for reference. The following chart identifies the Kyle Canyon Land Use categories and the corresponding Kyle Canyon Development Standard categories that apply:

Kyle Canyon Land Use Category		Kyle Canyon Development Standard
L	Residential Low (maximum 15 du/ac; average 5.49 du/ac)	Kyle R-1, Kyle R-CL, Kyle R-2
ML	Residential Medium Low (maximum 15 du/ac; average 8.49 du/ac)	Kyle R-1, Kyle R-CL, Kyle R-2
ML-A	Residential Medium Low – Attached (maximum 25 du/ac; average 12.49 du/ac)	Kyle R-CL, Kyle R-TH, Kyle R-2, Kyle R-3
BLU	Blended Land Uses (maximum 50 du/ac; average 15 du/ac)	Kyle R-CL, Kyle R-TH, Kyle R-2, Kyle R-3, Kyle R-4, C-1, C-2, P-O, O
GC*	General Commercial	C-1, C-2, O
Gaming	Gaming	C-1, C-2, P-O, O

*Parcels E-21 are limited to C-1

The following provisions are the specific modifications to the City of Las Vegas Unified Development Code, Title 19, which upon their adoption will be the governing standards for development within the Kyle Canyon Master Plan. The chapter number and descriptive titles refer to the Unified Development Code, Title 19, adopted March 16, 2011, which became effective May 1, 2011.

Design Review

All builder submittals to the City of Las Vegas for design review, modifications, or deviations shall be in accordance with Section 3 of the Kyle Canyon Development Agreement. In addition, all designated Builder

submittals shall be reviewed and approved by the Master Developer's Design Review Committee prior to submittal to the City.

Restricted Uses

The Master Developer and/or Designated Builder shall satisfy all Code requirements for filing an application for a special use permit. Parcel E-21 within the Community has specific conditions for commercial development. Parcel E-21 shall be developed with the following conditions:

- I. Parcel E-21 (13.77 acre, 7.34 acre, and 4.84 acre parcels)
 1. Mandatory neighborhood meetings shall be required for any Special Use Permit or Land Use designation changes.
 2. The parcels are limited to C-1 development standards and permissible uses.
- II. Parcel E-21 (13.77 acre parcel)
 1. Access to Brent Lane is prohibited.
 2. A six (6) foot high decorative block wall shall be constructed along Brent Lane and shall comply with the Development Standards and Design Guidelines.
 3. A thirty (30) foot intense landscape buffer along Brent Lane with a detached five (5) foot sidewalk included. A double row of twenty-four (24) inch boxed Mondale Pine Trees to be spaced fifteen (15) feet on center or similar species of tree and spacing required.
 4. A tavern, liquor store, tattoo parlor/body piercing studio, sexually oriented business and a financial institution-specified is prohibited.
 5. A site development plan review application is required for any development to address the specific conditions for development and is to be noticed as a public hearing.
- III. Parcel E-21 (7.34 acre and 4.84 acre parcels)
 1. A tavern, liquor store, tattoo parlor/body piercing studio, sexually oriented business and a financial institution-specified is prohibited.
- IV. Parcel A-3 (22.79 acre)
 1. Direct vehicular access to Tee Pee Lane is prohibited. Gated emergency access and pedestrian access is permitted.
 2. A six (6) foot high decorative block wall shall be constructed along Tee Pee Lane and shall comply with the Development Standards and Design Guidelines.
 3. A thirty (30) foot intense landscape buffer along Tee Pee Lane with a detached five (5) foot sidewalk included. A double row of twenty-four (24) inch boxed Mondale Pine Trees to be spaced fifteen (15) feet on center or similar species of tree and spacing required.

V. Triangular Open Space Parcel at the Intersection of Horse Drive and Fort Apache Road

1. The Master Developer shall install intense landscaping and maintain the parcel.

19.06.040

Residential Districts Development Standards

B. Building Placement

1. Projections into Setback Area

a. Architectural Features

- Change... “roof eaves” to “roof overhangs”
- add...”media niches, stairwell landings, wing walls, window and door pop-out surrounds, pot shelves, trim, shutters, and material veneers”
- add...”Such architectural features may or may not be supported by a foundation, as long as it does not increase living space.”

C. Accessory Structures

2. (No Heading)

- delete...”No accessory structure is permitted in front of the primary structure unless the structure is side-loaded garage which is used strictly as an ancillary use and does not encroach into the front setback area.”
- add...”Setbacks for front detached accessory structures, including casitas and side-loaded garages, shall be as described in the Modified Standards Tables. Casitas may include a kitchenette in which no oven and cook-top are provided.”

E. Patio Covers

2. (No Heading)

- delete...”The height of the patio cover shall not exceed twelve feet.”
- add the following:
 - “Single-story patio covers shall not exceed 16’ in height, unless the patio is located within the overall building form of the primary structure, in which case the maximum height shall be the same as the primary structure.”
 - “Covered sun decks shall not exceed the maximum height of the primary structure.”

G. Parking

2. (No Heading)

- delete...”Parking on the public right of way may not be counted towards satisfying the requirement for on-site parking.”

- add... "On streets having a 60' right-of-way or less, parking on the public right-of-way within a development parcel may be counted toward multi-family guest parking requirements only."
- Add... "In multi-family development, parking shall conform to federal ADA standards."

H. Fences and Walls

1. Front Yard Screen Wall Prohibition

- Delete: "No screen wall shall be built in the front yard of a residential property"
- Add: "Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building."

3. Fences, Walls and Architectural Character

a. Perimeter Walls

- change sentence near end of first paragraph to read... "Pilasters, if used, shall have a maximum spacing of 100' on center."

4. (Prohibited) Materials

c. Corrugated metal:

- Add ... "unless used in a decorative manner consistent with the architecture of the project."

e. Untextured or unfinished concrete or block (CMU) walls:

- Add... "unless used in a decorative manner consistent with the architecture of the project."

Kyle R-1 Single Family Residential District

STANDARD	Kyle R – 1 STANDARDS
Housing Types	Single Family Detached
Kyle Canyon Land Use Category	L, ML
Minimum Lot Size s.f.	4,500
Dwelling Units per Lot	1
Min. Lot Width	40' (30' at cul-de-sac or knuckle)
MINIMUM SETBACKS <i>Refer to Exhibit 1 for Conventional Plotting Setback Diagrams. All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements.</i>	
Main Building	
• Front	10' to Living, Porch, or Attached Side Entry Garage 18' to face of Front Entry Garage Door
• Side	5'
• Corner Side	5' to Porch 10' to Living
• Rear	10' to Living
Detached Accessory Structure <i>(including Casita* & Detached Side-Entry Garages)</i>	
• Front	10'
• Side	3'
• Corner Side	10'
• Rear	3'
• Min. Separation to Main Bldg.	6'
• Size and Coverage	Not to exceed 50% of the floor area of the principal dwelling unit
Rear Patio Cover, Sundeck, Balcony <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i> <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i> <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
• Rear	5' to post or edge of sundeck or balcony 3' to roof overhang
• Side	5' to post or edge of sundeck or balcony 3' to roof overhang
• Corner Side	10' to post or edge of sundeck or balcony 8' to roof overhang
Courtyard Walls	
• Front	5'
• Side	0'
• Corner Side	5'
Max. Lot Coverage <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	60%

STANDARD	Kyle R – 1 STANDARDS
Housing Types	Single Family Detached
Max. Building Height <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	Main Building <ul style="list-style-type: none"> • 2 Stories max. • 35' max. height Accessory Structure Not to exceed 2 stories, 35 feet in height or the height of the principal dwelling unit, whichever is less
Parking	2 unimpeded spaces per unit
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> • Minimum Zone Depths 	<ul style="list-style-type: none"> • Adjacent to Right-of-Way: 6' or building setback, whichever is less • Interior Lot Lines: 0'
<ul style="list-style-type: none"> • Front Yard Area Turf Coverage 	0%
WALLS AND FENCES	
Front Yard Wall/Fence	
<ul style="list-style-type: none"> • Max. primary wall height 	5'
<ul style="list-style-type: none"> • Max. solid wall base height 	2'
<ul style="list-style-type: none"> • Max. Pilaster height 	18"
<ul style="list-style-type: none"> • Max. on-center distance between pilasters 	Pilasters not required; When provided, maximum spacing of 100'
<ul style="list-style-type: none"> • Decorative Cap feature 	5"
Front Yard Wall/Fence with Standard Stepback	
<ul style="list-style-type: none"> • Max. secondary wall height 	2'
<ul style="list-style-type: none"> • Minimum spacing between wall sections – Outside Dimensions 	5'
Perimeter and Retaining Walls with Slopes ≤2%	
<ul style="list-style-type: none"> • Max. Overall Height 	10'
<ul style="list-style-type: none"> • Max. Perimeter Wall Height 	6' – 8'
<ul style="list-style-type: none"> • Max. Retaining Wall Height 	4'
<ul style="list-style-type: none"> • Max. Pilaster Height 	18"
<ul style="list-style-type: none"> • Contrasting Material 	20%
Perimeter and Retaining Walls with Slopes > 2%	
<ul style="list-style-type: none"> • Max. Overall Height 	12'
<ul style="list-style-type: none"> • Max. Perimeter Wall Height 	6 – 8'
<ul style="list-style-type: none"> • Max. Retaining Wall Height 	6'
<ul style="list-style-type: none"> • Max. Pilaster Height 	18"
<ul style="list-style-type: none"> • Contrasting Material 	20%
Perimeter and Retaining Walls Standard Stepback	
<ul style="list-style-type: none"> • Max. Primary Wall Height 	6 – 8'
<ul style="list-style-type: none"> • Max. Secondary Wall Height 	4'

STANDARD	Kyle R – 1 STANDARDS
Housing Types	Single Family Detached
<ul style="list-style-type: none">Min. spacing between wall sections – Inside Dimensions	4'
<ul style="list-style-type: none">Max. Pilaster Height	18"
<ul style="list-style-type: none">Min. spacing between wall sections – Outside Dimensions	5'

*Casita may include a kitchenette in which no oven and cook-top are provided.

Kyle R-CL Single Family Compact Lot District

STANDARD	Kyle R – CL STANDARDS
Housing Types	Single Family Detached (Conventional, Cluster or Alley Configurations)
Kyle Canyon Land Use Category	L, ML, ML-A, BLU
Minimum Lot Size s.f.	Conventional: 2,000 Cluster or Alley: 2,000
Dwelling Units per Lot	Conventional: 1 Cluster or Alley: 1
Min. Lot Width	Conventional: 26' Cluster or Alley: 26'
MINIMUM SETBACKS <i>Refer to Exhibit 1 for Conventional Plotting Setback Diagrams & Exhibit 2 for Cluster Plotting Diagrams. All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements.</i>	
Main Building	
<ul style="list-style-type: none"> Front 	<p>From Interior Street 3' to Second Story Living over Garage 5' to Porch 10' to Single Story Living 14' to Second Story Living <5' or 18'+ to face of Garage Door ¹</p> <p>From Court Street or Drive Aisle 3' to Second Story Living over Garage 3' to Porch 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹</p> <p>From Paseo or Common Open Space 0' to Porch 0' to Single Story Living 0' to Second Story Living</p>
<ul style="list-style-type: none"> Side 	6' (combined both sides) The side yard setbacks may be configured in any manner that conforms to the International Building Code and results in maintaining the total side yard setback width required on each lot. Reciprocal Use and Maintenance Easements are permitted where a portion of one lot is used for the exclusive use and enjoyment of an adjoining lot. In such cases the minimum distance between structures shall be 6'. When Reciprocal Use Easements are used, an Optional HOA Easement may be established for front and side yard areas. Any improvements within the HOA Easement area must be approved by the HOA. Structural elements such as patio covers, balconies, decks, trellises, outdoor fireplaces or other similar elements shall not encroach beyond the Property Line of the unit it serves. Refer to Exhibit 3.
<ul style="list-style-type: none"> Corner Side 	5' to Porch, Portico or similar element 10' to Living
<ul style="list-style-type: none"> Rear (with No Alley) 	5'
<ul style="list-style-type: none"> Rear (with Alley) 	3' to Second Story Living over Garage 3' to Porch 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹

STANDARD	Kyle R – CL STANDARDS
Housing Types	Single Family Detached (Conventional, Cluster or Alley Configurations)
Detached Accessory Structures (Detached Accessory Structures are allowed on lots 3,500 square feet and larger only)	
<ul style="list-style-type: none"> Front 	Same as Main Building
<ul style="list-style-type: none"> Side 	3'
<ul style="list-style-type: none"> Corner Side 	10'
<ul style="list-style-type: none"> Rear 	3'
<ul style="list-style-type: none"> Min. Separation to Main Bldg. 	6'
<ul style="list-style-type: none"> Size and Coverage 	Not to exceed 50% of the floor area of the principal dwelling unit
Rear Patio Cover, Sundeck, Balcony <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i> <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i> <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> Rear Side Corner Side 	5' to post or edge of sundeck or balcony 3' to roof overhang 5' to post or edge of sundeck or balcony 3' to roof overhang 5' to post or edge of sundeck or balcony 3' to roof overhang
Courtyard Walls	
<ul style="list-style-type: none"> From Interior Street 	2'
<ul style="list-style-type: none"> From Court Street, Drive Aisle or Alley 	2'
<ul style="list-style-type: none"> From Paseo or Common Open Space 	0'
Min. Distance Between Buildings	6' between principal structures
Max. Lot Coverage <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	70%
Max. Building Height (ft) <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	Main Building 3 Stories max.; 38' max. Accessory Structure Not to exceed 2 stories, 35 feet in height or the height of the principal dwelling unit, whichever is less
Parking	2 unimpeded spaces per unit with at least one space in an enclosed garage
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> Minimum Zone Depths 	<ul style="list-style-type: none"> Adjacent to Right-of-Way: 6' or building setback, whichever is less Interior Lot Lines: 0'
<ul style="list-style-type: none"> Front Yard Area Turf Coverage 	0%

STANDARD	Kyle R – CL STANDARDS
Housing Types	Single Family Detached (Conventional, Cluster or Alley Configurations)
WALLS AND FENCES	
Front Yard Wall/Fence	
• Max. primary wall height	5'
• Max. solid wall base height	2'
• Max. Pilaster height	18"
• Max. on-center distance between pilasters	Pilasters not required; When provided, maximum spacing of 100'
• Decorative Cap feature	5"
Front Yard Wall/Fence with Standard Stepback	
• Max. secondary wall height	2'
• Minimum spacing between wall sections – Outside Dimensions	5'
Perimeter and Retaining Walls with Slopes ≤2%	
• Max. Overall Height	10'
• Max. Perimeter Wall Height	6 – 8'
• Max. Retaining Wall Height	4'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls with Slopes > 2%	
• Max. Overall Height	12'
• Max. Perimeter Wall Height	6 – 8'
• Max. Retaining Wall Height	6'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls Standard Stepback	
• Max. Primary Wall Height	6 – 8'
• Max. Secondary Wall Height	4'
• Min. spacing between wall sections – Inside Dimensions	4'
• Max. Pilaster Height	18"
• Min. spacing between wall sections – Outside Dimensions	5'

¹ 12% maximum driveway slopes. No inverted crown streets will be permitted. Front driveway length to be measured from back of sidewalk or back of curb where sidewalk does not exist.

Kyle R-TH Single Family Attached District

STANDARD	Kyle R – TH STANDARDS
Housing Types	Single Family Attached Residences
Kyle Canyon Land Use Category	ML-A, BLU
Min. Lot Size s.f.	1,280
DU's per Lot	1
Min. Lot Width (ft)	16'
MINIMUM SETBACKS <i>Refer to Exhibit 1 for Conventional Plotting Setback Diagrams and Exhibit 2 for Cluster Plotting Setback Diagrams. All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. All setbacks are subject to the Residential Adjacency Standards described in the City of Las Vegas Unified Development Code, Section 19.06.040, Sub-section I.</i>	
Main Buildings	
<ul style="list-style-type: none"> Front 	<ul style="list-style-type: none"> <u>From Interior Street</u> 3' to Second Story Living over Garage 5' to Porch 8' to Single Story Living 12' to Second Story Living <5' or 18'+ to face of Garage Door ¹ <u>From Court St. or Drive Aisle</u> 3' to Second Story Living over Garage 3' to Porch 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹ <u>From Paseo or Common Open Space</u> 0' to Porch 0' to Single Story Living 0' to Second Story Living
<ul style="list-style-type: none"> Side 	0' at common wall 3' at building end wall
<ul style="list-style-type: none"> Corner Side 	5'
<ul style="list-style-type: none"> Rear 	<ul style="list-style-type: none"> <u>Rear Yard with No Alley</u> 5' <u>Rear Yard from Alley</u> 3' to Second Story Living over Garage (cantilevered) 3' to Porch, Portico, Courtyard Wall or similar element 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹
Detached Accessory Structures	
<ul style="list-style-type: none"> Min. Separation to Main Bldg. 	6'
<ul style="list-style-type: none"> Size and Coverage 	Not to exceed 50% of the floor area of the principal dwelling unit
Rear Patio Cover, Sundeck, Balcony <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i> <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i> <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	

STANDARD	Kyle R – TH STANDARDS
Housing Types	Single Family Attached Residences
<ul style="list-style-type: none"> Rear Side Corner Side 	5' to post or edge of sundeck or balcony 3' to roof overhang 5' to post or edge of sundeck or balcony 3' to roof overhang 5' to post or edge of sundeck or balcony 3' to roof overhang
Courtyard Walls	
<ul style="list-style-type: none"> From Interior Street 	2'
<ul style="list-style-type: none"> From Court Street, Drive Aisle or Parking 	2'
<ul style="list-style-type: none"> From Paseo or Common Open Space 	0'
<ul style="list-style-type: none"> From Parcel Boundary Adjacent to Perimeter Street 	10'
<ul style="list-style-type: none"> From Adjacent Parcel PL 	10'
Min. Distance Between Buildings <i>(Primary Walls are those walls which contain the primary glazing and/or private outdoor space per unit. All other elevations are considered Secondary Walls.)</i>	6'
Max. Lot Coverage <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	95%
Max. Building Height <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	Main Building 3 stories max.; 45 feet max. Accessory Structure Not to exceed 2 stories, 35 feet in height or the height of the principal dwelling unit, whichever is less
Parking	1 unimpeded space per dwelling unit, plus 1 guest parking space per 6 units
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> Minimum Zone Depths 	<ul style="list-style-type: none"> Adjacent to Right-of-Way: 6' or building setback, whichever is less Interior Lot Lines: 0'
<ul style="list-style-type: none"> Parking Lot Screening 	Screening from adjacent roadways shall be provided
<ul style="list-style-type: none"> Turf Coverage 	0%
WALLS AND FENCES	
Front Yard Wall/Fence	
<ul style="list-style-type: none"> Max. primary wall height 	5'
<ul style="list-style-type: none"> Max. solid wall base height 	2'
<ul style="list-style-type: none"> Max. Pilaster height 	18"
<ul style="list-style-type: none"> Max. on-center distance between pilasters 	Pilasters not required; When provided, maximum spacing of 100'
<ul style="list-style-type: none"> Decorative Cap feature 	5"

STANDARD	Kyle R – TH STANDARDS
Housing Types	Single Family Attached Residences
Front Yard Wall/Fence with Standard Stepback	
• Max. secondary wall height	2'
• Minimum spacing between wall sections – Outside Dimensions	5'
Perimeter and Retaining Walls with Slopes ≤2%	
• Max. Overall Height	10'
• Max. Perimeter Wall Height	6 – 8'
• Max. Retaining Wall Height	4'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls with Slopes > 2%	
• Max. Overall Height	12'
• Max. Perimeter Wall Height	6 – 8'
• Max. Retaining Wall Height	6'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls Standard Stepback	
• Max. Primary Wall Height	6 – 8'
• Max. Secondary Wall Height	4'
• Min. spacing between wall sections – Inside Dimensions	4'
• Max. Pilaster Height	18"
• Min. spacing between wall sections – Outside Dimensions	5'

¹ 12% maximum driveway slopes. No inverted crown streets will be permitted. Front driveway length to be measured from back of sidewalk or back of curb where sidewalk does not exist.

Kyle R-2 Medium-Low Density Residential District

STANDARD	Kyle R - 2 STANDARDS
Housing Types	Single Family Detached, Duplex & Townhome Units (Conventional, Cluster or Alley configurations)
Kyle Canyon Land Use Category	L, ML, ML-A, BLU
Minimum Lot Size s.f.	Conventional: 2,000 Cluster or Alley: 2,000
Units per Gross Acre	6-12
Min. Lot Width	NA
MINIMUM SETBACKS <i>Refer to Exhibit 1 for Conventional Plotting Setback Diagrams & Exhibit 2 for Cluster Plotting Diagrams.</i> <i>All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements.</i>	
Main Building	
<ul style="list-style-type: none"> Front 	From Interior Street 3' to Second Story Living over Garage 5' to Porch 10' to Single Story Living 14' to Second Story Living <5' or 18'+ to face of Garage Door ¹ From Court Street or Drive Aisle 3' to Second Story Living over Garage 3' to Porch 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹ From Paseo or Common Open Space 0' to Porch 0' to Single Story Living 0' to Second Story Living
<ul style="list-style-type: none"> Side 	0' at common wall 3' at building end wall
<ul style="list-style-type: none"> Corner Side 	5'
<ul style="list-style-type: none"> Rear 	Rear Yard with No Alley 5' Rear Yard with Alley 3' to Second Story Living over Garage (cantilevered) 3' to Porch 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹
Detached Accessory Structures	
<ul style="list-style-type: none"> Front 	Same as Main Building
<ul style="list-style-type: none"> Side 	3'
<ul style="list-style-type: none"> Corner Side 	5'
<ul style="list-style-type: none"> Rear 	3'
<ul style="list-style-type: none"> Min. Separation to Main Bldg. 	6'
<ul style="list-style-type: none"> Size and Coverage 	Not to exceed 50% of the floor area of the principal dwelling unit

STANDARD	Kyle R - 2 STANDARDS
Housing Types	Single Family Detached, Duplex & Townhome Units (Conventional, Cluster or Alley configurations)
<p>Rear Patio Cover, Sundeck, Balcony</p> <p><i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i></p> <p><i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i></p> <p><i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i></p>	
<ul style="list-style-type: none"> Rear Side Corner Side 	<p>5' to post or edge of sundeck or balcony 3' to roof overhang</p> <p>5' to post or edge of sundeck or balcony 3' to roof overhang</p> <p>5' to post or edge of sundeck or balcony 3' to roof overhang</p>
Courtyard Walls	
<ul style="list-style-type: none"> From Interior Street 	2'
<ul style="list-style-type: none"> From Court Street, Drive Aisle or Alley 	2'
<ul style="list-style-type: none"> From Paseo or Common Open Space 	0'
<ul style="list-style-type: none"> Corner Side 	2'
Min. Distance Between Buildings	6'
<p>Max. Lot Coverage</p> <p><i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i></p>	NA
<p>Max. Building Height</p> <p><i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i></p>	<p>Main Building</p> <p>3 Stories max.; 38' max.</p> <p>Accessory Structure</p> <p>Not to exceed 2 stories, 35 feet in height or the height of the principal dwelling unit, whichever is less</p>
Parking	2 unimpeded spaces per unit with at least one space in an enclosed garage
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> Minimum Zone Depths 	<ul style="list-style-type: none"> Adjacent to Right-of-Way: 6' or building setback whichever is less Interior Lot Lines: 0'
<ul style="list-style-type: none"> Front Yard Area Turf Coverage 	0%
WALLS AND FENCES	
Front Yard Wall/Fence	
<ul style="list-style-type: none"> Max. primary wall height 	5'
<ul style="list-style-type: none"> Max. solid wall base height 	2'
<ul style="list-style-type: none"> Max. Pilaster height 	18"
<ul style="list-style-type: none"> Max. on-center distance between pilasters 	Pilasters not required; When provided, maximum spacing of 100'
<ul style="list-style-type: none"> Decorative Cap feature 	5"

STANDARD	Kyle R - 2 STANDARDS
Housing Types	Single Family Detached, Duplex & Townhome Units (Conventional, Cluster or Alley configurations)
Front Yard Wall/Fence with Standard Stepback	
• Max. secondary wall height	2'
• Minimum spacing between wall sections – Outside Dimensions	5'
Perimeter and Retaining Walls with Slopes ≤2%	
• Max. Overall Height	10'
• Max. Perimeter Wall Height	6 – 8'
• Max. Retaining Wall Height	4'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls with Slopes > 2%	
• Max. Overall Height	12'
• Max. Perimeter Wall Height	6 – 8'
• Max. Retaining Wall Height	6'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls Standard Stepback	
• Max. Primary Wall Height	6 – 8'
• Max. Secondary Wall Height	4'
• Min. spacing between wall sections – Inside Dimensions	4'
• Max. Pilaster Height	18"
• Min. spacing between wall sections – Outside Dimensions	5'

¹12% maximum driveway slopes. No inverted crown streets will be permitted. Front driveway length to be measured from back of sidewalk or back of curb where sidewalk does not exist.

Kyle R-3 Medium Density Residential

STANDARD	Kyle R – 3 STANDARDS
Housing Types	Duplex And Townhome Units (Conventional, Cluster or Alley configurations) And Medium Density Apartments
Kyle Canyon Land Use Category	ML-A, BLU
Min. Lot Size s.f.	Duplex and Townhome Units Conventional: 1,800 Cluster or Alley: 1,800 Medium Density Apartments No Minimum
DU's per Gross Ac.	13-50
Min. Lot Width (ft)	NA
MINIMUM SETBACKS <i>Refer to Exhibit 1 for Conventional Plotting Setback Diagrams, Exhibit 2 for Cluster Plotting Setback Diagrams and Exhibit 4 for Medium Density Apartment Setback Diagram. All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. All setbacks are subject to the City of Las Vegas Unified Development Code Residential Adjacency Standards described in Section 19.06.040, Sub-section I.</i>	
Main Buildings	
<ul style="list-style-type: none"> Front 	Duplex and Townhome Units <ul style="list-style-type: none"> <u>From Interior Street</u> 3' to Second Story Living over Garage 5' to Porch 8' to Single Story Living 10' to Second Story Living <5' or 18'+ to face of Garage Door ¹ <u>From Court St. or Drive Aisle</u> 3' to Second Story Living over Garage 3' to Porch 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹ <u>From Interior Paseo or Interior Common Open Space</u> 0' to Porch 0' to Single Story Living 0' to Second Story Living Medium Density Apartments 10'
<ul style="list-style-type: none"> Side 	Duplex and Townhome Units 0' at common wall 3' at building end wall Medium Density Apartments 5'
<ul style="list-style-type: none"> Corner Side 	Duplex and Townhome Units 5' Medium Density Apartments 5'

STANDARD	Kyle R – 3 STANDARDS
Housing Types	Duplex And Townhome Units (Conventional, Cluster or Alley configurations) And Medium Density Apartments
<ul style="list-style-type: none"> Rear 	<p>Duplex and Townhome Units</p> <ul style="list-style-type: none"> <u>Rear Yard with No Alley</u> 5' <u>Rear Yard from Alley</u> 3' to Second Story Living over Garage (cantilevered) 3' to Porch, Portico, Courtyard Wall or similar element 5' to Single Story Living 5' to Second Story Living <5' or 18'+ to face of Garage Door ¹ <p>Medium Density Apartments</p> <ul style="list-style-type: none"> <u>From common Property Line between two adjacent parcels:</u> 10' to Porch 10' to Living <u>From Property Line adjacent to Community Open Space</u> 10' to Porch 10' to Living
<p>Accessory Structures</p> <p><i>Accessory structures for R-3 Medium Density Apartment housing types may include but are not limited to leasing offices, pool buildings and cabanas, pool equipment buildings, clubhouse and recreation buildings, detached garages and storage buildings, and other similar structures that are customary for R-3 Medium Density housing types. Kitchen facilities for catering purposes only are allowed.</i></p>	
<ul style="list-style-type: none"> Front 	Same as Main Building
<ul style="list-style-type: none"> Side 	3'
<ul style="list-style-type: none"> Corner Side 	5'
<ul style="list-style-type: none"> Rear 	3'
<ul style="list-style-type: none"> Min. Separation to Main Bldg. 	6'
<ul style="list-style-type: none"> Size and Coverage 	NA
<p>Rear Patio Cover, Sundeck, Balcony</p> <p><i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i></p> <p><i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i></p> <p><i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i></p>	
<ul style="list-style-type: none"> Rear Side Corner Side Rear Side 	<p>Duplex and Townhome Units</p> <p>5' to patio cover post or edge of sundeck or balcony 3' to roof overhang</p> <p>5' to patio cover post or edge of sundeck or balcony 3' to roof overhang</p> <p>5' to patio cover post or edge of sundeck or balcony 3' to roof overhang</p> <p>Medium Density Apartments</p> <p>5' to patio cover post or edge of sundeck or balcony 3' to roof overhang</p> <p>5' to patio cover post or edge of sundeck or balcony 3' to roof overhang</p>

STANDARD	Kyle R – 3 STANDARDS
Housing Types	Duplex And Townhome Units (Conventional, Cluster or Alley configurations) And Medium Density Apartments
<ul style="list-style-type: none"> Corner Side 	5' to patio cover post or edge of sundeck or balcony 3' to roof overhang
Courtyard Walls	
<ul style="list-style-type: none"> From Interior Street 	2'
<ul style="list-style-type: none"> From Court Street, Drive Aisle or Parking 	2'
<ul style="list-style-type: none"> From Paseo or Common Open Space 	0'
<ul style="list-style-type: none"> From Parcel Boundary Adjacent to Perimeter Street in Med. Density Apartment sites.) 	10'
<ul style="list-style-type: none"> From Adjacent Parcel PL in Med. Density Apartment sites 	10'
Min. Distance Between Buildings	Duplex and Townhome Units 6' Medium Density Apartments 10'
Max. Lot Coverage <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	NA
Max. Building Height <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	Main Building 5 Stories max.; 60' max. Accessory Structure Not to exceed 3 stories, 38 feet in height or the height of the principal dwelling unit, whichever is less
Parking	Duplex and Townhome Units 2 unimpeded spaces per unit with at least one space in an enclosed garage, plus 1 guest space for every 6 units. Project on-street parking can be counted toward guest parking requirement. Medium Density Apartments SR Apt: .75/unit All others: 1 guest space for every 6 units, <i>plus</i> Studio & 1 BR 1.25/unit 2 BR 1.75/unit 3 BR & Above 2/unit Project on-street parallel parking, if any, shall conform to UDC requirements and can be counted toward guest parking requirement. Adopted City of Las Vegas parallel parking space standards apply.

STANDARD	Kyle R – 3 STANDARDS
Housing Types	Duplex And Townhome Units (Conventional, Cluster or Alley configurations) And Medium Density Apartments
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> Minimum Zone Depths 	<ul style="list-style-type: none"> Adjacent to Right-of-Way : 10' or building setback, whichever is less Interior Lot Lines: 6'
<ul style="list-style-type: none"> Turf Coverage 	Max. 30% of landscapable area
WALLS AND FENCES	
Front Yard Wall/Fence	
<ul style="list-style-type: none"> Max. primary wall height 	5'
<ul style="list-style-type: none"> Max. solid wall base height 	2'
<ul style="list-style-type: none"> Max. Pilaster height 	18"
<ul style="list-style-type: none"> Max. on-center distance between pilasters 	Pilasters not required; When provided, maximum spacing of 100'
<ul style="list-style-type: none"> Decorative Cap feature 	5"
Front Yard Wall/Fence with Standard Stepback	
<ul style="list-style-type: none"> Max. secondary wall height 	2'
<ul style="list-style-type: none"> Minimum spacing between wall sections – Outside Dimensions 	5'
Perimeter and Retaining Walls with Slopes ≤2%	
<ul style="list-style-type: none"> Max. Overall Height 	10'
<ul style="list-style-type: none"> Max. Perimeter Wall Height 	6 – 8'
<ul style="list-style-type: none"> Max. Retaining Wall Height 	4'
<ul style="list-style-type: none"> Max. Pilaster Height 	18"
<ul style="list-style-type: none"> Contrasting Material 	20%
Perimeter and Retaining Walls with Slopes > 2%	
<ul style="list-style-type: none"> Max. Overall Height 	12'
<ul style="list-style-type: none"> Max. Perimeter Wall Height 	6 – 8'
<ul style="list-style-type: none"> Max. Retaining Wall Height 	6'
<ul style="list-style-type: none"> Max. Pilaster Height 	18"
<ul style="list-style-type: none"> Contrasting Material 	20%
Perimeter and Retaining Walls Standard Stepback	
<ul style="list-style-type: none"> Max. Primary Wall Height 	6 – 8'
<ul style="list-style-type: none"> Max. Secondary Wall Height 	4'
<ul style="list-style-type: none"> Min. spacing between wall sections – Inside Dimensions 	4'
<ul style="list-style-type: none"> Max. Pilaster Height 	18"
<ul style="list-style-type: none"> Min. spacing between wall sections – Outside Dimensions 	5'

¹ 12% maximum driveway slopes. No inverted crown streets will be permitted. Front driveway length to be measured from back of sidewalk or back of curb where sidewalk does not exist.

Kyle R-4 High Density Residential District

STANDARD	Kyle R-4 STANDARDS
Housing Types	High density apartments units
Kyle Canyon Land Use Category	BLU
Minimum Lot Size s.f.	No minimum
Dwelling Units per Gross Acre	Unlimited
Min. Lot Width	NA
MINIMUM SETBACKS <i>Refer to Exhibit 4 for High Density Apartment Setback Diagram. All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. All setbacks are subject to the City of Las Vegas Unified Development Code Residential Adjacency Standards described in Section 19.06.040, Sub-section I.</i>	
Main Buildings	
• Front	10'
• Side	5'
• Corner Side	5'
• Rear	<ul style="list-style-type: none"> From common Property Line between two adjacent parcels 10' to Porch 10' to Living From Property Line adjacent to Community Open Space 10' to Porch 10' to Living
Accessory Structures <i>Accessory structures in R-4 categories may include but are not limited to leasing offices, pool buildings and cabanas, pool equipment buildings, clubhouse and recreation buildings, detached garages and storage buildings, and other similar structures that are customary for R-4 housing types. Kitchen facilities for catering purposes only are allowed.</i>	
• Front	Same as Main Building
• Side	3'
• Corner Side	5'
• Rear	3'
• Min. Separation to Main Bldg.	6'
• Size and Coverage	NA
Rear Patio Cover, Sundeck or Balcony <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i> <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i> <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
• Rear	5' to patio cover post or edge of sundeck or balcony 3' to roof overhang
• Side	5' to patio cover post or edge of sundeck or balcony 3' to roof overhang
• Corner Side	5' to patio cover post or edge of sundeck or balcony 3' to roof overhang

STANDARD	Kyle R-4 STANDARDS
Housing Types	High density apartments units
Courtyard Walls	
<ul style="list-style-type: none"> From Parcel Boundary Adjacent to Perimeter Street 	10'
<ul style="list-style-type: none"> From Adjacent Parcel PL 	10'
<ul style="list-style-type: none"> From Interior Street 	2'
<ul style="list-style-type: none"> From Court Street, Drive Aisle or Parking 	2'
<ul style="list-style-type: none"> From Paseo or Common Open Space 	0'
Min. Distance Between Buildings	Unlimited
Max. Lot Coverage <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	NA
Max. Building Height <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	Main Building Stories - NA 60 feet max. Accessory Structure Not to exceed 3 stories, 38 feet in height or the height of the main buildings, whichever is less.
Parking	SR Apt: .75/unit All others: 1 guest space for every 6 units plus Studio & 1 BR 1.25/unit 2 BR 1.75/unit 3 BR & Above 2/unit Project on-street parallel parking, if any, shall conform to UDC requirements and can be counted toward guest parking requirement. Adopted City of Las Vegas parallel parking space standards apply.
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> Minimum Zone Depths 	<ul style="list-style-type: none"> Adjacent to Right-of-Way: 10' or building setback, whichever is less Interior Lot Lines: 6'
<ul style="list-style-type: none"> Turf Coverage 	Max. 30% of landscapable area
WALLS AND FENCES	
Front Yard Wall/Fence	
<ul style="list-style-type: none"> Max. primary wall height 	5'
<ul style="list-style-type: none"> Max. solid wall base ht. 	2'
<ul style="list-style-type: none"> Max. Pilaster ht. 	18"

STANDARD	Kyle R-4 STANDARDS
Housing Types	High density apartments units
<ul style="list-style-type: none"> Max. on-center distance between pilasters 	Pilasters not required; When provided, maximum spacing of 100'
<ul style="list-style-type: none"> Decorative Cap feature 	5"
Front Yard Wall/Fence with Standard Stepback	
<ul style="list-style-type: none"> Max. secondary wall ht. 	2'
<ul style="list-style-type: none"> Minimum spacing between wall sections – Outside Dimensions 	5'
Perimeter and Retaining Walls with Slopes $\leq 2\%$	
<ul style="list-style-type: none"> Max. Overall Ht. 	10'
<ul style="list-style-type: none"> Max. Perimeter Wall Ht. 	6 – 8'
<ul style="list-style-type: none"> Max. Retaining Wall Ht. 	4'
<ul style="list-style-type: none"> Max. Pilaster Ht. 	18"
<ul style="list-style-type: none"> Contrasting Material 	20%
Perimeter and Retaining Walls with Slopes $> 2\%$	
<ul style="list-style-type: none"> Max. Overall Ht. 	12'
<ul style="list-style-type: none"> Max. Perimeter Wall Ht. 	6 – 8'
<ul style="list-style-type: none"> Max. Retaining Wall Ht. 	6'
<ul style="list-style-type: none"> Max. Pilaster Ht. 	18"
<ul style="list-style-type: none"> Contrasting Material 	20%
Perimeter and Retaining Walls Standard Stepback	
<ul style="list-style-type: none"> Max. Primary Wall Ht. 	6 – 8'
<ul style="list-style-type: none"> Max. Secondary Wall Ht. 	4'
<ul style="list-style-type: none"> Min. spacing between wall sections – Inside Dimensions 	4'
<ul style="list-style-type: none"> Max. Pilaster Ht. 	18"
<ul style="list-style-type: none"> Min. spacing between wall sections – Outside Dimensions 	5'

19.19

Blended Land Use District

19.19.010 Purpose / Intent

The Blended Land Use category is established to encourage the creation of dynamic neighborhoods that allow for a mix of residential and/or non-residential uses on the same site or within the same building. A successful blended neighborhood emphasizes a strong pedestrian realm as an integral component of the site design concept. The pedestrian realm is achieved through a high connectivity among the various uses on the site and adjacent neighborhoods, as well as the provision of public spaces such as plazas, courtyards, greens or other such spaces that serve as gathering places for residents and visitors to enjoy.

The Blended Land Use category offers many community benefits including:

- The provision of a strong sense of place by establishing a unique identity for the community as a whole.
- A decrease in automobile dependency by locating complementary uses within close proximity of one another, thereby encouraging walking and bicycling as alternative modes of transportation.
- The creation of vibrant, pedestrian friendly neighborhoods with an emphasis on convenience, interconnectivity, and accessibility for the benefit of residents, workers and visitors.
- Promoting innovative urban design and architecture.
- Providing alternate housing choices for consumers based upon their lifestyle needs.

19.19.020 Description of Blended Land Use

The types of land uses that may be developed within Blended Land Use category include:

- Any Kyle Canyon Residential Land Use, except Kyle R-1
- Limited Commercial (C-1)
- General Commercial (C-2)
- Professional Office (P-O)
- Office (O)

The Blended Land Uses may integrate multiple land uses on the same parcel, within the same building, or both.

The Blended Land Use category allows for uses to be mixed on the site, however, it is not a requirement. A parcel designated as Blended Land Use may be developed with only one land use at the discretion of the property owner.

19.19.030 Kyle BLU Development Standards

STANDARD	Kyle BLU STANDARDS
Permitted Uses	Residential (all Kyle Canyon categories except Kyle R-1) Limited Commercial General Commercial Professional Office Office
Maximum Density	50 Du/Ac
Mix of Uses	Development within the BLU category may consist of one or more land use types described above. Development plans must conform to the Kyle Canyon Master Traffic Plan.
RESIDENTIAL DEVELOPMENT STANDARDS	
	Refer to Kyle Canyon Development Standards Sections 19.06.070 thru 19.06.120.
NON-RESIDENTIAL & VERTICAL BLENDED USES	
	The following standards apply to Non-residential and vertical blended uses (including residential)
MINIMUM SETBACKS	
<i>All setbacks measured from property line and are subject to City of Las Vegas Residential Adjacency Standards, Unified Development Code, Chapter 19.06.040, Sub-section I. Corner side setbacks are subject to City of Las Vegas site visibility requirements.</i>	
Main Building	
• Primary Frontage	15'
• Secondary Frontage	0'
• Interior Lot Lines (Rear or Side)	0'
• Designated Open Space	0'
• Minimum Building Separation	0' or 10'+
• Projections	Architectural features such as roof overhangs, balconies, window and doors trims, fenestrations, canopies, awnings, loggias, building mounted signage, and other similar architectural elements, may encroach into setback areas or public R.O.W.'s so long as the encroachment is a minimum of 2' from front of sidewalk or back of tree grate. All projections shall be clearly noted on the Site Development Plan.
Detached Accessory Structure	
• Primary Frontage	15'
• Secondary Frontage	0'
• Interior Lot Lines (Rear or Side)	0'
• Designated Open Space	0'
• Min. Separation to Main Bldg.	10'
• Size and Coverage	Not to exceed the aggregate floor area of the principal structure. The aggregate total of the ground floor area of all structures (excluding carports and detached trash enclosures) shall not exceed the percentage of lot coverage permitted.
Surface Parking Setbacks	
• Primary Frontage	10'
• Secondary Frontage	10'
• Interior Lot Lines (Rear or Side)	5'
• Designated Open Space	5'
Parking Structure Setbacks	
• Primary Frontage	15'
• Secondary Frontage	10'
• Interior Lot Lines (Rear or Side)	10'
• Designated Open Space	10'

STANDARD	Kyle BLU STANDARDS
Courtyard Walls	
<ul style="list-style-type: none"> Primary Frontage 	10'
<ul style="list-style-type: none"> Secondary Frontage 	5'
<ul style="list-style-type: none"> From Interior Lot Lines 	0'
<ul style="list-style-type: none"> From Designated Open Space 	0'
Max. Lot Coverage <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	75%
Max. Building Height <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	Main Building <ul style="list-style-type: none"> 5 Stories max. 60' max. height Accessory Structure Not to exceed height of main building Structured Parking No maximum height, except that the top level of the parking structure, including railings and roof element (if any) shall not exceed the building height of the building being served. Projections Architectural elements such as towers, cupolas, or other similar feature elements may exceed the main building height by a maximum of 15'.
Parking	
Parcels developed with one land use type	Parking and loading requirements shall be as proscribed in the Unified Development Code for that use.
Parcels developed with two or more blended land uses	Refer to Unified Development Code, Section 19.18.030(4)(c) & (d)
Landscape Buffers and Turf Limitations	
<ul style="list-style-type: none"> Minimum Zone Depths 	<ul style="list-style-type: none"> Adjacent to Right-of-Way: 15' or building setback, whichever is less Interior Lot Lines: 0'
<ul style="list-style-type: none"> Front Yard Area Turf Coverage 	0% of landscapable area
<ul style="list-style-type: none"> Impermeable Surfaces 	Should be minimized to reduce stormwater quality management impacts.
WALLS AND FENCES	
Front Yard Wall/Fence	
<ul style="list-style-type: none"> Max. primary wall height 	5'
<ul style="list-style-type: none"> Max. solid wall base height 	2'
<ul style="list-style-type: none"> Max. Pilaster height 	18"
<ul style="list-style-type: none"> Decorative Cap feature 	5"
Front Yard Wall/Fence with Standard Stepback	
<ul style="list-style-type: none"> Max. secondary wall height 	2'
<ul style="list-style-type: none"> Minimum spacing between wall sections – Outside Dimensions 	5'
Perimeter and Retaining Walls with	

STANDARD	Kyle BLU STANDARDS
Slopes $\leq 2\%$	
• Max. Overall Height	10'
• Max. Perimeter Wall Height	6' -8'
• Max. Retaining Wall Height	4'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls with Slopes > 2%	
• Max. Overall Height	12'
• Max. Perimeter Wall Height	6' – 8'
• Max. Retaining Wall Height	6'
• Max. Pilaster Height	18"
• Contrasting Material	20%
Perimeter and Retaining Walls Standard Stepback	
• Max. Primary Wall Height	6' – 8'
• Max. Secondary Wall Height	4'
• Min. spacing between wall sections – Inside Dimensions	4'
• Max. Pilaster Height	18"
• Min. spacing between wall sections – Outside Dimensions	5'

19.19.040 Blended Land Use Design Guidelines

A. Site Design Review

The Blended Land Use standards allow for considerable flexibility in the design of mixed use communities and residential neighborhoods. In allowing this flexibility, the City of Las Vegas intends to utilize the Site Development Plan review process as a tool in refining the application of these Blended Use Standards and applying them to the actual designs submitted. All submittals within the Blended Land Use area shall be subject to the Site Development Plan process as presented in section 19.16.100 of the UDC. The Master Developer Architectural Review committee shall strive to achieve consistent design details and architectural styles throughout the Blended Use areas.

Should urban style “Identity Streets” be utilized within the Blended Use Area, the Master Developer shall prepare design standards for these streets including landscape and signage standards. The proposed urban street standards shall be submitted to the City for review and approval prior to the submittal of Site Design Reviews or other submittals utilizing the urban streets. The Master Developer shall enforce uniformity of street designs within the Blended Use area.

B. Site Design Philosophy

The overall design concept within Blended Use parcels shall ensure that a cohesive integration of uses is provided with an emphasis on the pedestrian realm and connectivity among uses and adjacent neighborhoods. Generally, Blended Use Parcels feature a relatively formal arrangement of buildings that form a strong sense of place for residents and visitors to gather. The following are key considerations that shall be considered in the design of Blended Use Parcels.

1. Vehicular Circulation

Blended Use parcels shall provide a well-defined entry sequence for vehicular traffic from perimeter streets to the buildings within the parcel. The entry sequence shall incorporate landscape, architectural, and signage elements.

The on-site circulations system shall promote the efficient movement of vehicles in a clear and well-defined manner that minimizes conflicts with pedestrians and bicycles.

Transit stops, bus turn-outs and shelters shall be provided as necessary and shall be fully integrated into the site design by locating them with pedestrian oriented amenities such as pocket parks, courtyards, plazas, etc.

Street layouts shall be designed to highlight focal elements such as plazas, town green, community building, fountains, sculptural elements, or other similar features.

“Identity” streets that capture the essence of urban living are encouraged to incorporate on-street angled or parallel parking, wide pedestrian friendly sidewalks, formal tree patterns and tree grates, overhead awnings or arcades to provide shaded passage for pedestrians. Larger parking fields shall be located behind the “identity” street buildings to screen them from view.

Loading and service areas shall be independent from the general circulation system to the greatest extent feasible. Such areas shall not face a primary or secondary street and shall be screened from view.

Traffic calming devices such as neck-downs, raised crosswalks, traffic circles, roundabouts and other similar devices that reduce traffic speeds shall be incorporated into site design to the extent feasible..

2. Pedestrian Realm

Attractive pedestrian space is an essential element of vibrant Blended Use development. The following principles that emphasize the creation of pedestrian friendly environments shall be considered in the design of Blended Use neighborhoods:

a. Sidewalks

- Sidewalks shall be of sufficient width to promote pedestrian friendly amenities such as street furniture, kiosks and other site furnishings as well as to encourage leisurely window shopping, outdoor dining, and other pedestrian activity in commercial areas.
- Street trees with tree grates embedded in sidewalks are encouraged to accentuate the urban form, provide shade for pedestrians, and buffer pedestrians from adjacent traffic.
- Pedestrian scale lighting shall be provided along sidewalks and pathways.
- Pedestrian oriented signage shall be provided.
- Pedestrian walkways shall avoid passing through service areas of the site (i.e., delivery areas, trash collections areas, etc.)

b. Connectivity

- Strong pedestrian connections shall link on-site uses, buildings and amenities such as a town green, landscaped courtyards and plazas and other similar elements.
- Likewise, strong external connections to adjacent parcels, open space and/or roadway systems shall be provided.
- Clear pedestrian circulation shall be provided from parking areas to building entrances.

c. Vehicular / Pedestrian Interface

- Minimum street widths shall be used to reduce design speeds and reduce pedestrian crossing distances.
- Mid-block crosswalks shall be used at strategic locations to reduce pedestrian travel distances.
- Traffic calming devices such as neck-downs, raised crosswalks, traffic circles, roundabouts and other similar devices that reduce traffic speeds shall be incorporated into site design.

- Minimum curb return radii shall be used at intersections to minimize crossing distances and reduce vehicular speed at corners.
- Clear pedestrian circulation from parking areas to building entrances shall be provided.
- Parking areas shall feature landscaping to provide shade cover for vehicles and pedestrians.

3. Building and Site Elements

Buildings shall be plotted as far forward on the lot as possible to reinforce the urban character of the Mixed-Use parcels.

The use of loggias, awnings or other overhead elements that provide shade and weather protection shall be provided for an enhanced pedestrian experience.

4. Parking

All required parking shall be provided on-site.

Angled or parallel parking is encouraged on “Identity” streets. Larger parking fields serving “Identity” street uses shall be located behind the buildings. Clearly identified pedestrian connections between the parking fields and the buildings served by the parking areas are required.

On parcels developed with two or more blended land uses, please refer to Unified Development Code, Section 19.18.030(4)(c) & (d)

Surface parking shall be accommodated in groups of small parking clusters to the extent feasible, to minimize the visual impact of parking areas. Long, unbroken rows of surface parking stalls shall be avoided.

Parking areas shall be screened from view to the extent feasible through the use of plant material or low walls that are compatible with the building architecture.

Landscape treatments shall be used within and adjacent to parking fields to visually minimize the impact of parking areas, as well as to provide shade cover for automobiles and pedestrian pathways.

Subterranean and structured parking is allowed. Such parking areas shall be well integrated into the design of the parcel through appropriate architectural and/or landscape treatments.

Multi-story parking structures shall be wrapped by building architecture that is equal to or greater than the height of the parking structure so that the structure is effectively screened from public street views.

Alternatively, parking structures adjacent to public streets are allowed in cases where the perimeter edge of the ground floor is devoted to commercial or office uses and parking above. Such ground level retail/office uses shall be designed with appropriate pedestrian scaled architectural detailing.

Carports are allowed in parking fields. Carports are not allowed on “Identity” streets. The design of carports shall complement the buildings within the parcel. A minimum 6” wide fascia element is required on all four sides of a carport roof.

Surface parking lots are prohibited at external street corners and shall be screened by buildings and/or landscaping at internal street corners.

5. Loading Areas

Loading areas shall be designed to accommodate maneuvering on-site, not from a public street.

All loading and service areas shall be clearly signed.

Loading areas shall be clearly denoted on the pavement and when occupied shall not unduly hinder on-site vehicular or pedestrian circulation.

Loading areas (except short term delivery small parcel pick-up or deliveries near building entries) shall be screened from view through the use of walls and/or landscaping.

Loading areas shall not face onto primary and secondary streets and shall adhere to all other parking setback requirements.

6. Architectural Guidelines

a. Building Orientation

Within Blended Land Use parcels, buildings shall be oriented to the street with inviting and detailed elevations to strengthen the desired image for the neighborhood. Only active building elevations and public access shall face the street.

The placement and orientation of buildings along a frontage shall create interesting and significant public spaces and help establish a design theme for the streetscape.

Commercial and vertical blended use buildings shall be sited and designed to attract and engage the pedestrian user by incorporating elements such as:

- Orienting the front doors of all businesses to streets or pedestrian features
- Providing a primary building entrance for ground floor uses along each building façade
- If a building has frontage on more than one public street, providing a single building entrance on the corner
- Using the area between the right-of-way and building to create a pedestrian amenity.
- Avoiding excessive setbacks that create gaps between the street and building interface.

- Providing building frontages with pedestrian-oriented architectural elements such as arcades, awnings, porches or other similar elements along the ground plane.

b. Building Elevations

The building massing shall consist of a mix of building heights to provide visual interest to the mixed-use area. Tower elements or other prominent building features shall be used to accentuate key elements such as building entries, and pedestrian nodes, plazas or courtyards.

Stepping back of upper stories is encouraged to enhance the buildings visual appearance as well as provide the opportunity for upper level terraces.

Offset wall planes shall be used where appropriate as an integral part of the building design to provide visual articulation.

Moreover, building offsets or recesses shall be used, where appropriate, to accentuate building entries and form pedestrian nodes.

Notched or angled building corners shall be used, where appropriate, to provide subtle articulation to building forms.

Projections, overhangs and recesses shall be used to provide shadow, articulation, and scale to building elevations.

Blended use development shall incorporate building height transitions from the maximum building height to a lower height to achieve compatibility with adjacent properties. All buildings are subject to the Residential Adjacency Standards of the Unified Development Code.

All sides of a building shall be coherently designed and treated. A consistent level of detailing and finish is required for all sides of a building, unless the building or portion thereof, is not visible from public view.

Blended use buildings shall incorporate patterns, changes in color and materials, and/or relief such as belt-lines, pilasters, pop-outs, etc. for visual interest.

c. Building Materials

In order to achieve variety in the architectural expression of blended use development parcels, no single building material or color shall predominate. Rather a variety of materials and colors shall be used.

Buildings shall be designed using materials that are consistent with its architectural style. Permitted materials include:

- Stucco
- Simulated wood siding or shingles
- Brick
- Stone
- Textured CMU

- Untextured CMU used in a decorative manner consistent with the project architecture
- Corrugated Metal used in a decorative manner consistent with the project architecture

All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap building elements in their entirety.

Material changes shall occur at inside corners. Materials applied to any visible elevation shall turn the outside corner of the building before terminating at a logical point.

All building colors shall be compatible with the architectural style of the building and are subject to approval during the design review process.

d. Roofs

Variety in roof forms, ridge heights, and direction of gables is required to avoid a monotonous roofscape as viewed from community streets, open space, or any other public space.

Roof pitch shall be consistent with the architectural style of the building. Flat roofs are permitted if consistent with the building's architectural style. When used, flat roofs must have a cornice or parapet wall.

Roof materials shall consist of flat, barrel, or S-tiles. Metal roofs are permitted on a limited basis on feature elements of the building.

Fascia elements shall be consistent with the architectural style of the building.

e. Architectural Features and Accents

- Exterior Stairs

Exterior stairways, when used, shall be simple bold projections that complement the architectural massing and form of the building.

- Columns, Archways & Arcades

The use of columns, archways and arcades, when used, shall be compatible with the architecture of the building, and designed as an integral component of the building's appearance.

When used, such elements shall define or enframe space, such as building entries, plazas and courtyards.

- Trellises and Arbors

Trellises and arbors are encouraged to enhance the architectural character of the building's design and to reinforce the pedestrian atmosphere of the mixed-use area.

- Accessory Structures

Accessory structures, when provided, shall be designed to be consistent with the architecture of adjacent buildings

- Architectural Detail Elements

Detail elements such as shutters, exposed rafter tails or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and / or other similar features shall be used to provide visual interest to building, consistent with its architectural style.

- Walls and Fences

Walls and fences shall be compatible in material, color, and design with adjacent architectural elements.

- Exterior Lighting

Exterior lighting fixtures shall be compatible with the architectural style of the building.

Please refer to Unified Development code Section 19.08.040 for additional exterior lighting requirements.

- Mechanical Equipment

Ground mounted mechanical equipment shall be screened from view by walls or fences compatible with the building architecture.

Roof mounted mechanical equipment shall be screened from view through the use of parapet walls similar in design to the building architecture.

All utility meters shall be screened from view.

All flashing, sheet metal, and vents shall be painted or screened from view in a manner that is compatible with the building architecture.

- Service Elements

Trash enclosures and other service elements shall be screened from view through the use of solid walls or fences compatible with the building architecture, and enclosed with opaque metal gates.

Trash enclosures shall be covered with a roof or trellis element.

Chapter 3.16

Environmental Standards

All residential product builders within Kyle Canyon Gateway shall meet the following requirements for all residential products.

A. Water Conservation

1. Front yards shall be landscaped with trees, shrubs and ground cover. No living lawns are permitted. Artificial turf is allowed. Non-turf areas will include a minimum 2-inch layer of mulching material. If weed barrier fabric is used, it shall be permeable to air and water.
2. If rear yard landscaping is provided by builder, the lawn area shall be less than 50% of total landscape-able area of backyard, but not to exceed 1,000 square feet.
3. No builder installed ornamental water features at homes or in common areas are permitted
4. All irrigation systems, if properly operated and maintained, can sustain the landscape without creating flow or spray that leaves the property.
5. Builder installed irrigation systems shall have separate control zones (valves) for different plant and irrigation types.
6. Builder installed sprinkler heads in turf areas must extend 4" or higher. Only turf areas may use spray irrigation. Drip irrigation is required for planter beds.
7. Builder installed drip irrigation systems shall be equipped with pressure regulator, filter and flush end assembly.
8. Builder provided , irrigation controllers shall have the following minimum features: two or more programs, three or more start times, one minute incremental watering times, even/odd day scheduling, day interval scheduling, and be capable of accepting external soil moisture and/or rain sensors. An owner's manual for all irrigation controllers and other irrigation components posted adjacent to the irrigation controller will be required. An SNWA seasonal watering schedule for each zone posted at the controller will be required.
9. Even if no pool or spa is installed by the builder, all homes must be equipped to facilitate the draining of pool and spa water to the sanitary sewer. Each dwelling shall have an exterior sewer cleanout downstream of all other sewer connections for the structure and located inside an enclosure. Enclosures must be adequately sized and shaped to allow reasonable access to use tools to remove the cap from the pipe. The enclosure lid must be clearly and permanently marked "SEWER" and "POOL DRAIN".
10. Pool and spa water surface areas will be deducted from the maximum allowable turf area described above.
11. Pools may not feature decorative water features that drop or propel water more than 24 inches above the main water surface.
12. Builders shall install only high efficiency plumbing fixtures including 1.28 gallon flush toilets, 2.2 gpm kitchen faucets, 1.5 gpm bathroom faucets, 2.5 gpm shower heads

13. Builder installed dishwashers shall be high efficiency dishwashers at 6.0 gal or less per normal cycle if provided.
14. Builder installed washing machines shall be high efficiency washing machine with Water Factor (WF) of 6.0 or less if provided.

B. Energy Conservation

The Developer shall provide for third party inspection of residential home insulation and HVAC duct installation according to the provisions of this section. The third party inspectors shall randomly inspect 10% of all homes constructed each year by all builders within Kyle Canyon Gateway. At a minimum the homes shall be inspected for proper installation of insulation and that ducts are sealed. The inspectors shall provide written inspection reports to the Developer, Builder and the City. The Developer shall provide to the City and Builders the insulation and HVAC duct sealing standards for Kyle Canyon and the details of the inspection program prior to commencing residential construction. At a minimum, the standards shall meet or exceed current Building Code standards. Any Builder product that is Energy Star certified shall be exempt from these inspection requirements.

C. Solid Waste Disposal

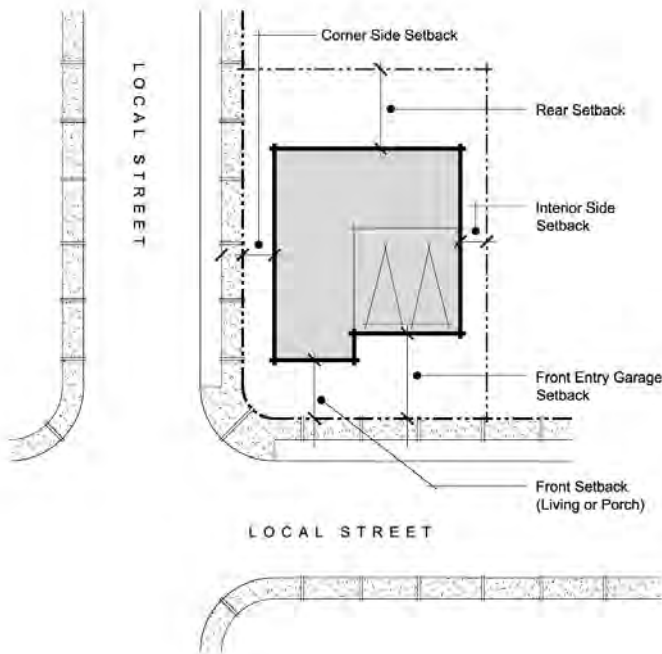
The Developer will meet with Republic Services or the City's contractor for solid waste removal at that time, and arrange a program for all of Kyle Canyon Gateway to have trash removal on a once a week basis and recycling pick up on a separate once a week basis. The Developer shall create a program to inform all Kyle Canyon Gateway home buyers of this solid waste and recyclables program.

D. Required Homebuyers Options

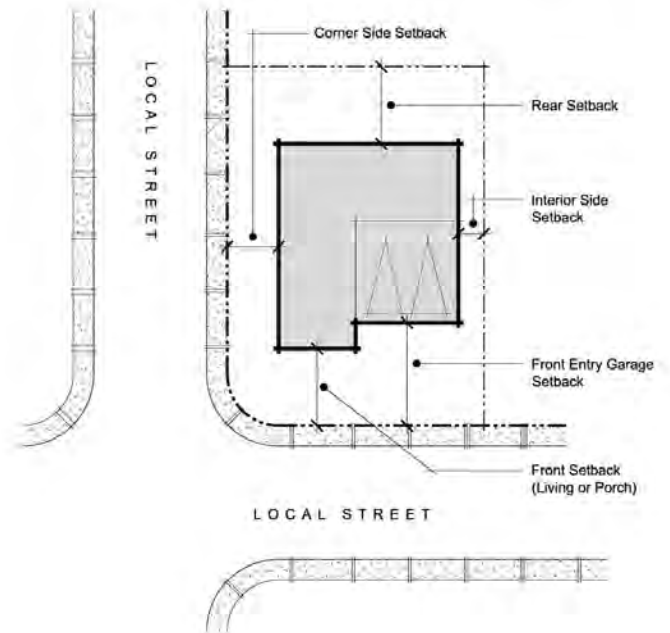
The Developer shall require and the residential Builders shall provide all homebuyers the option of purchasing any or all of the following on all single family detached homes and where possible on attached residential product;

1. Energy Star Certified Homes
2. Solar water heaters
3. Compact fluorescent lighting
4. Indoor motion sensing lighting
5. Photovoltaic solar panels and net metering systems
6. Energy Star appliances

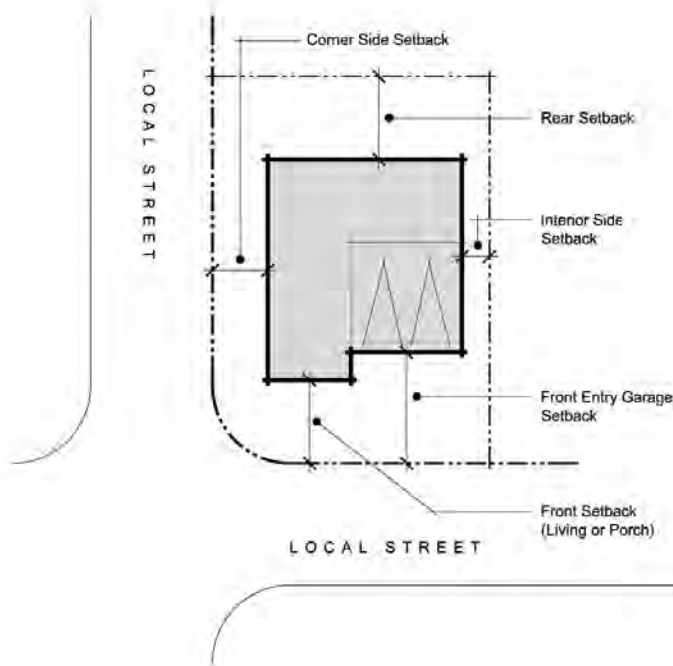
SINGLE FAMILY DETACHED, DUPLEX, TOWNHOME
Detached Sidewalk



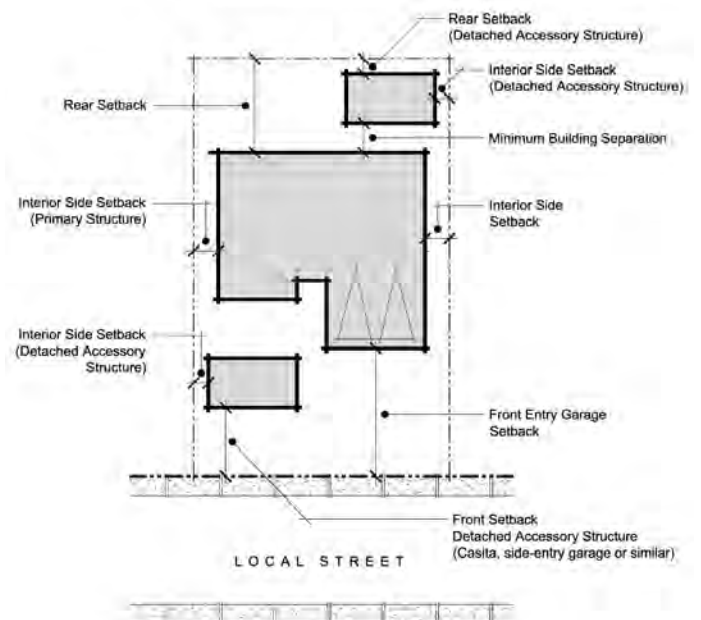
SINGLE FAMILY DETACHED, DUPLEX, TOWNHOME
Attached Sidewalk



SINGLE FAMILY DETACHED, DUPLEX, TOWNHOME
No Sidewalk



SINGLE FAMILY DETACHED, DUPLEX, TOWNHOME
Detached Accessory Structure

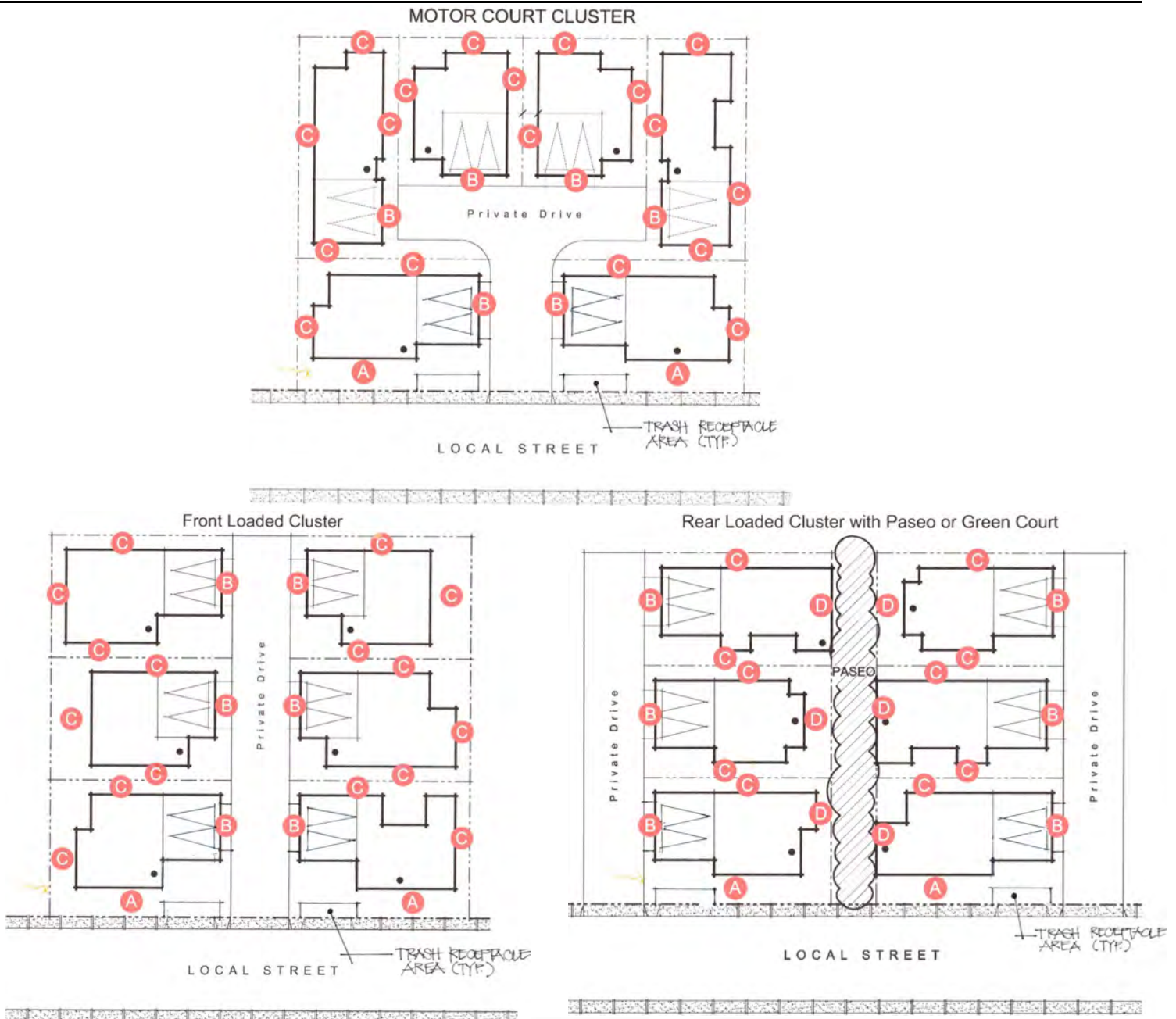


NOTES:

- Refer to Modified Standards Table for specific dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and Modified Standards Table, then Modified Standards Table shall prevail.
- All setbacks measured from property line unless otherwise noted.

Exhibit 1

SETBACK DIAGRAM



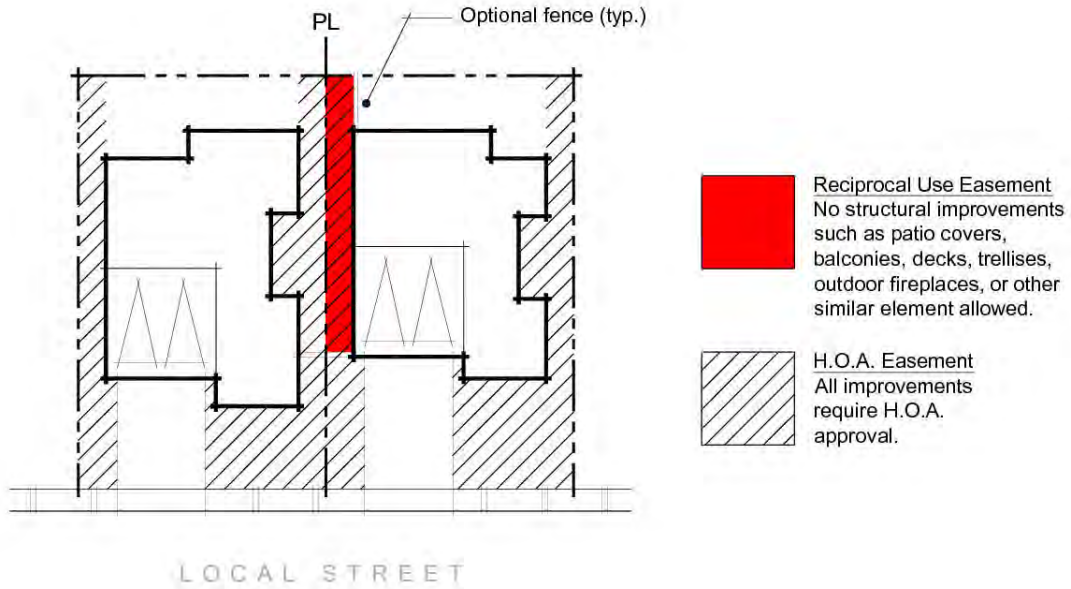
Legend:

- A. Setback from street regardless of unit entry or garage location.
- B. Setback from private drive regardless of unit entry or garage location.
- C. Side or Rear Setback. (Each unit shall have at least one rear setback.)
- D. Setback from paseo, green court or other common open space.

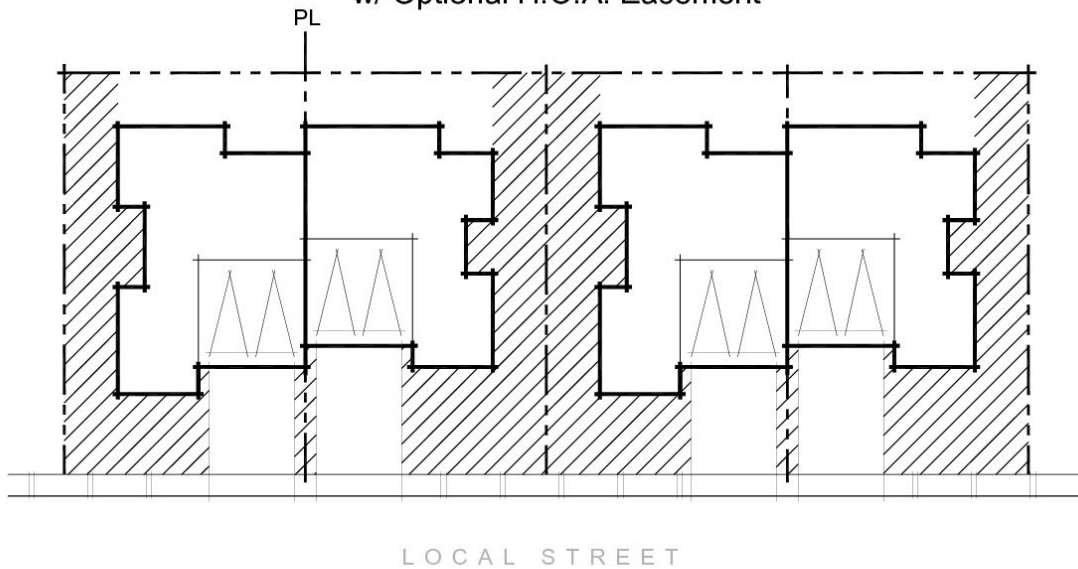
Notes:

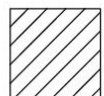
- Refer to Modified Standards Table for specific dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and the Modified Standards Table, then the Modified Standards Table shall prevail.
- All setbacks measured from property line unless otherwise noted.
- A maximum of 6 units allowed per cluster.
- **Motor Court Cluster houses must be sprinklered.**

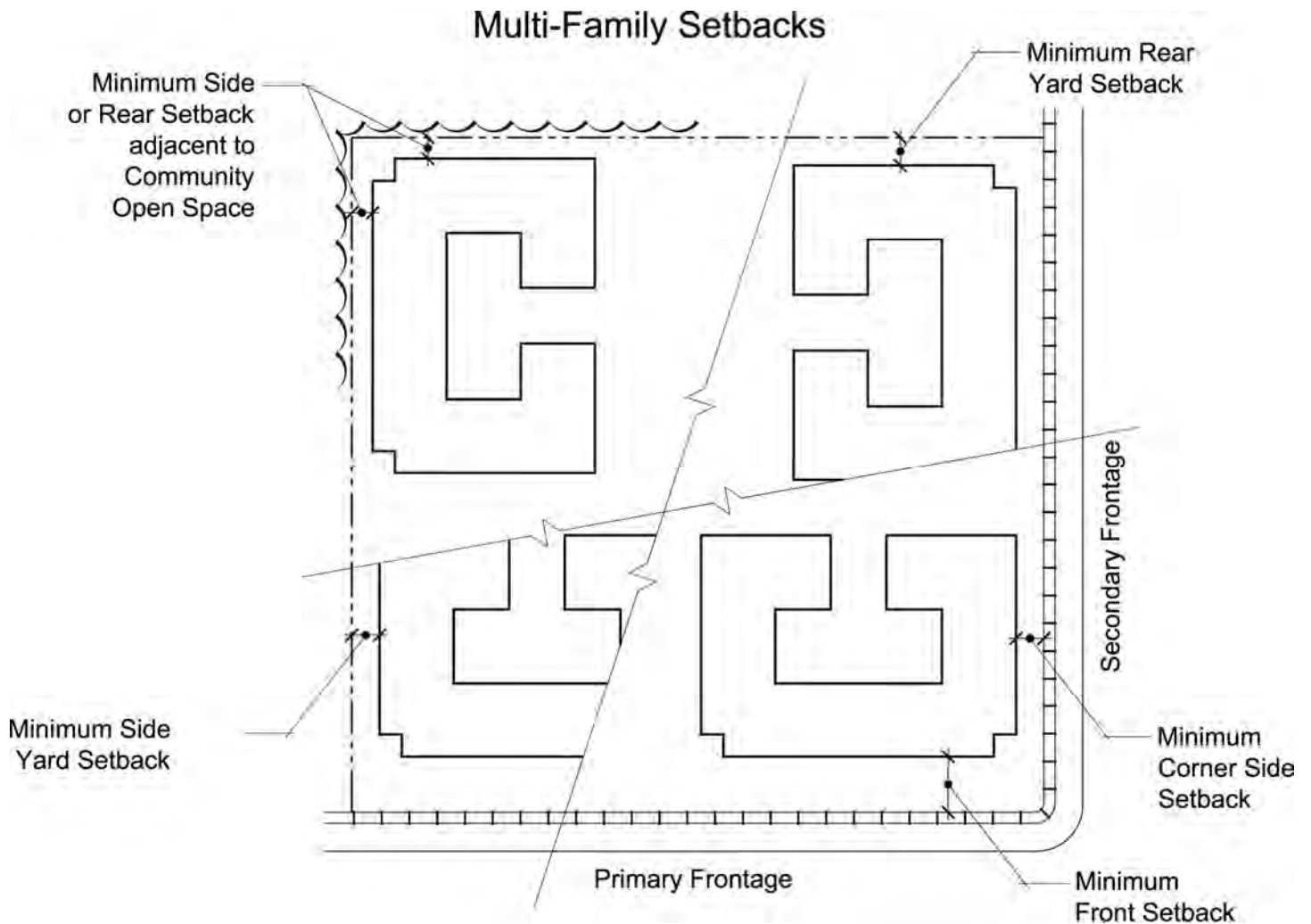
Reciprocal Use Easement Diagram



Fee Simple Duplex w/ Optional H.O.A. Easement



 **Optional H.O.A. Easement**
All improvements require H.O.A. approval.



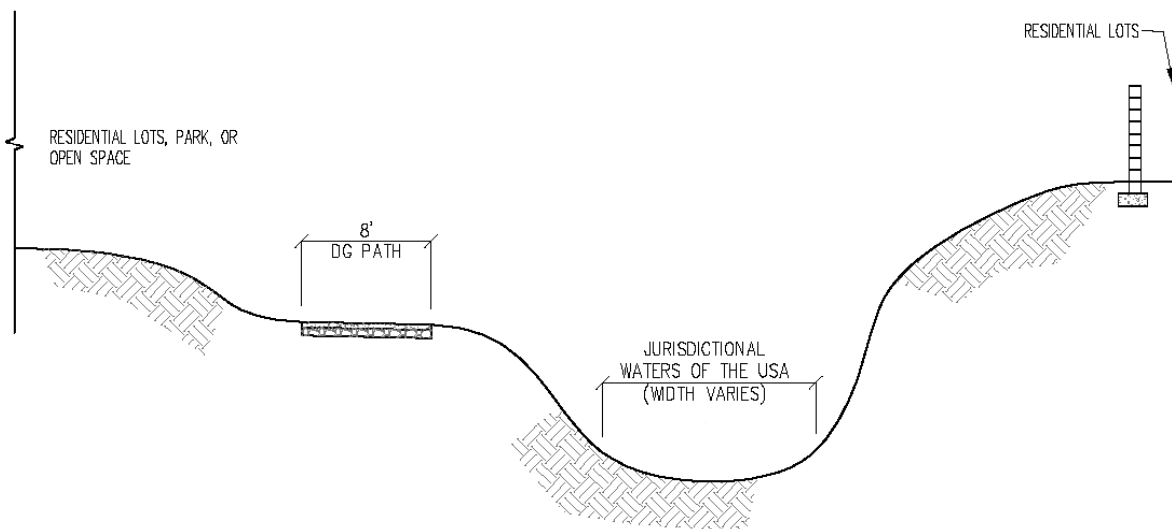
NOTES:

- Refer to Modified Standards Table for specific dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and Modified Standards Table, then Modified Standards Table shall prevail.
- All setbacks measured from PL unless otherwise noted.

Exhibit 4
**MEDIUM AND HIGH DENSITY
APARTMENT SETBACK DIAGRAM**

7/5/2011

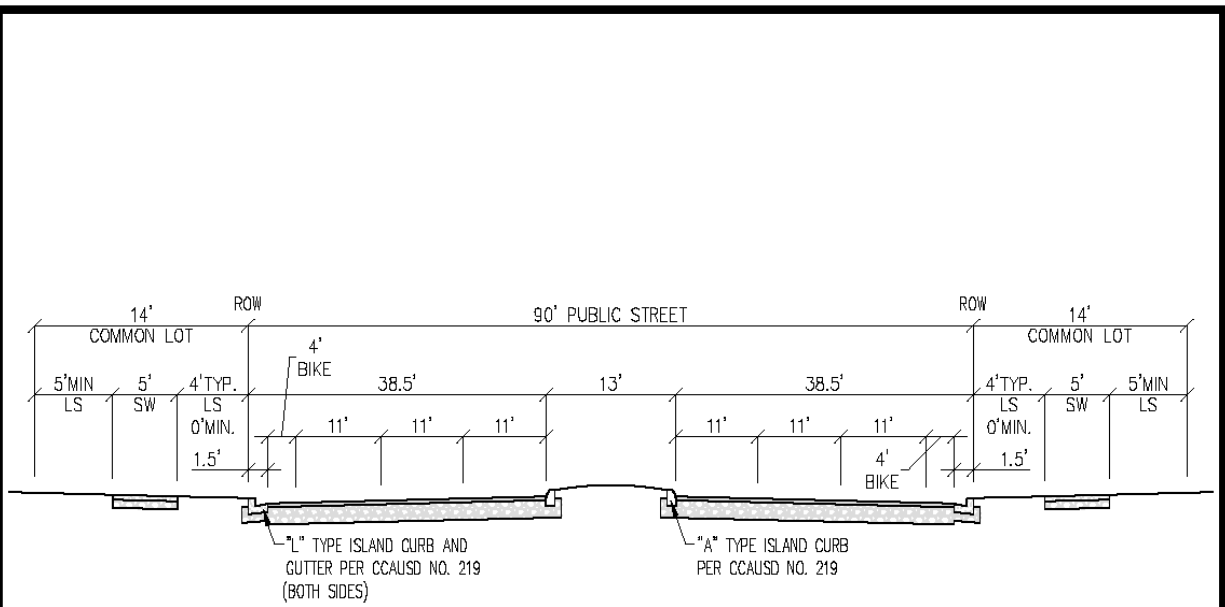
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ARROYO SECTION

NTS

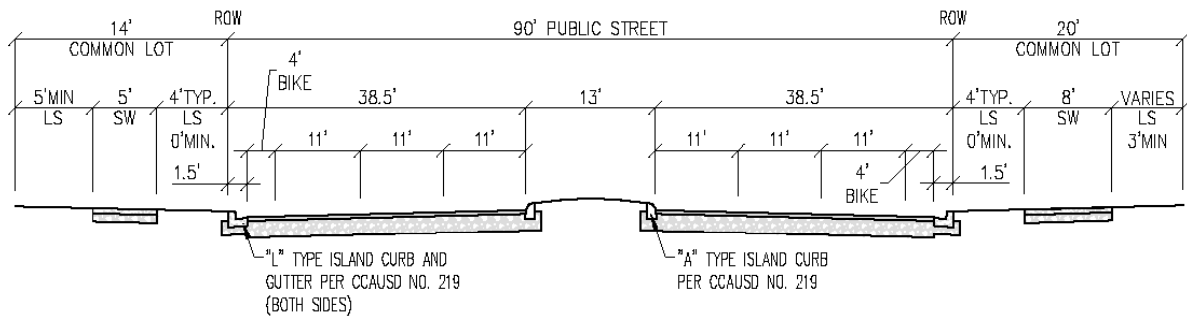




A. ARTERIAL STREET

NTS

HORSE DR & HUALAPAI WAY



B. ARTERIAL STREET WITH TRAIL

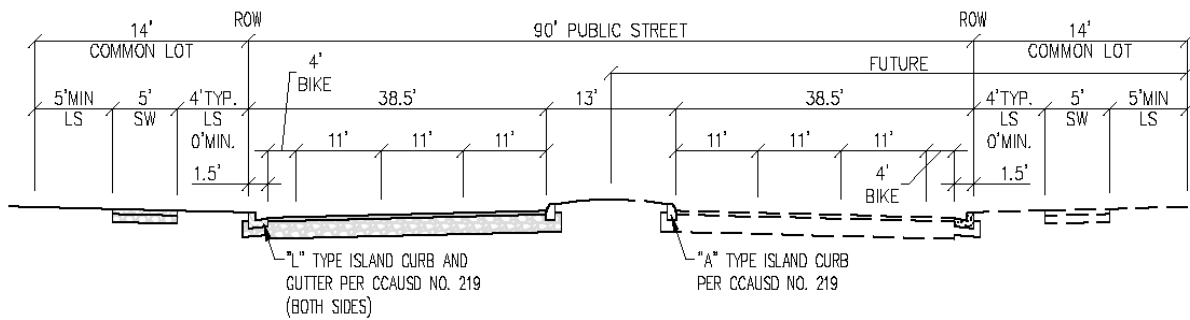
NTS

HORSE DR & HUALAPAI WAY

NOTES:

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE





C. ARTERIAL HALF STREET

NTS

HUALAPAI WAY

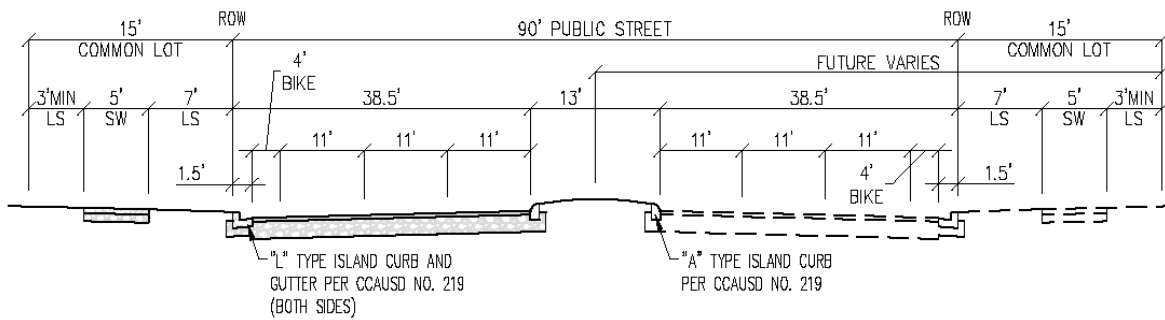
NOTES:

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE

7/5/2011

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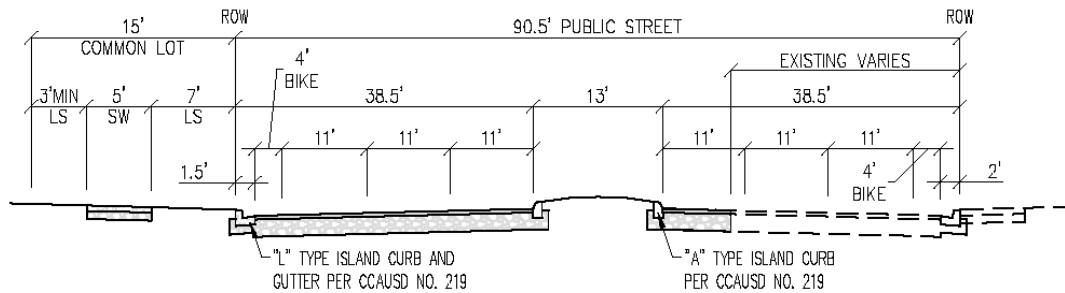




D. ARTERIAL HALF STREET

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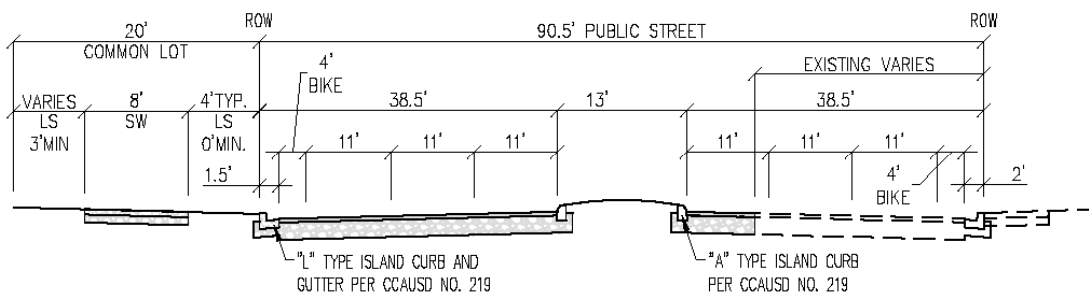
FORT APACHE RD



E. ARTERIAL HALF STREET

NTS

FORT APACHE RD



F. ARTERIAL HALF STREET WITH TRAIL

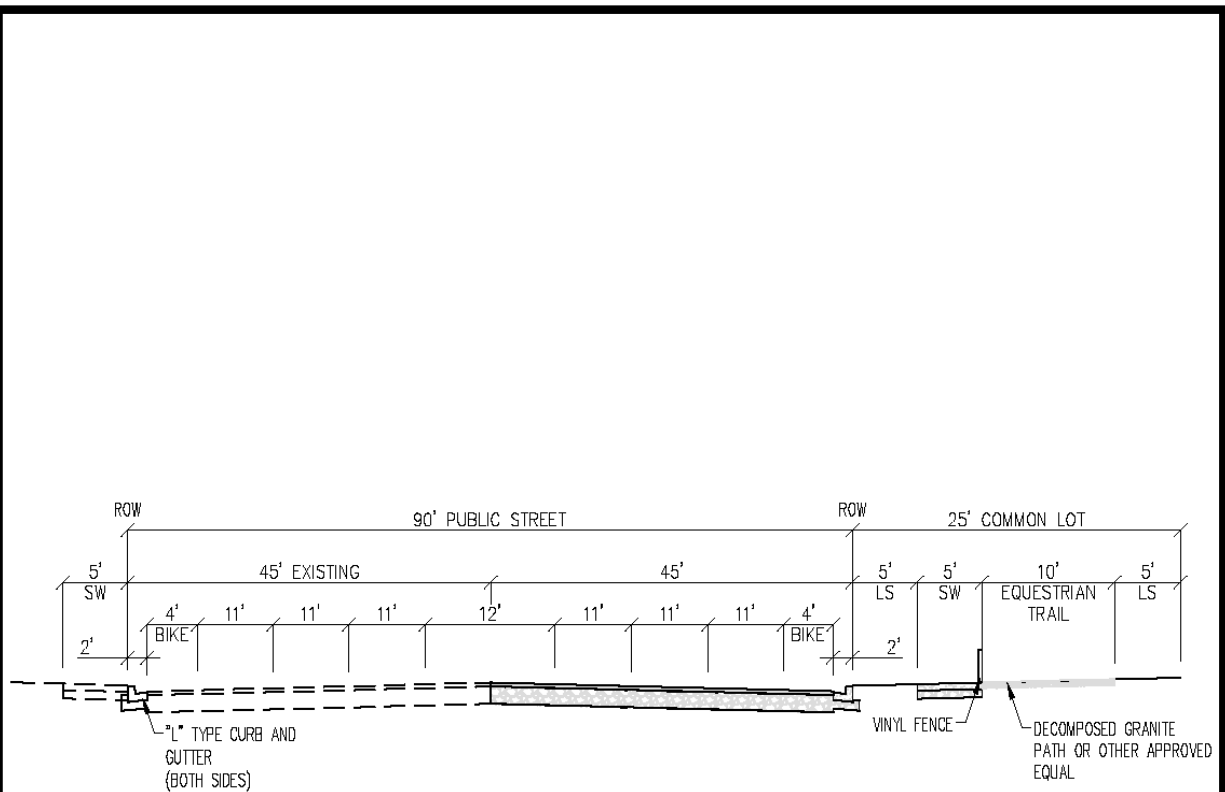
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FORT APACHE RD

NOTES:

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE





G. ARTERIAL STREET WITH EQUESTRIAN TRAIL

NTS

GRAND TETON DR

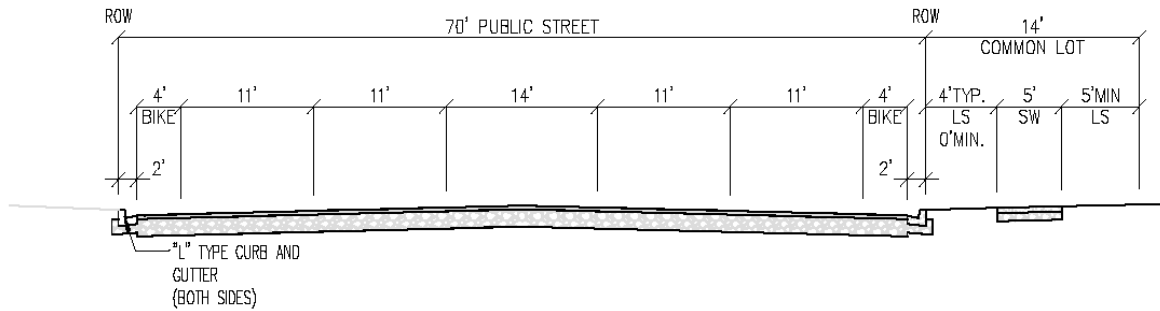
NOTES:

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE
3. CITY TO MAINTAIN EQUESTRIAN TRAIL
4. MEDIAN OPTIONAL

7/5/2011

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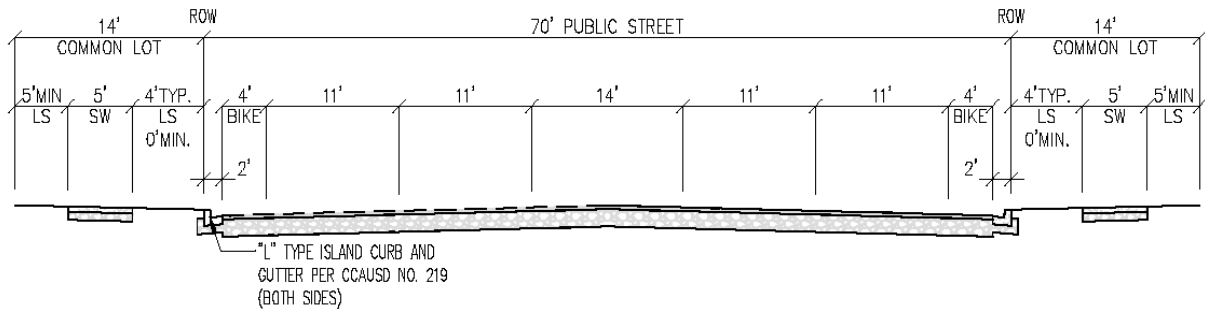




H. FRONTAGE ROAD

NTS

SKY POINTE DR & OSO BLANCA RD



I. FRONTAGE ROAD

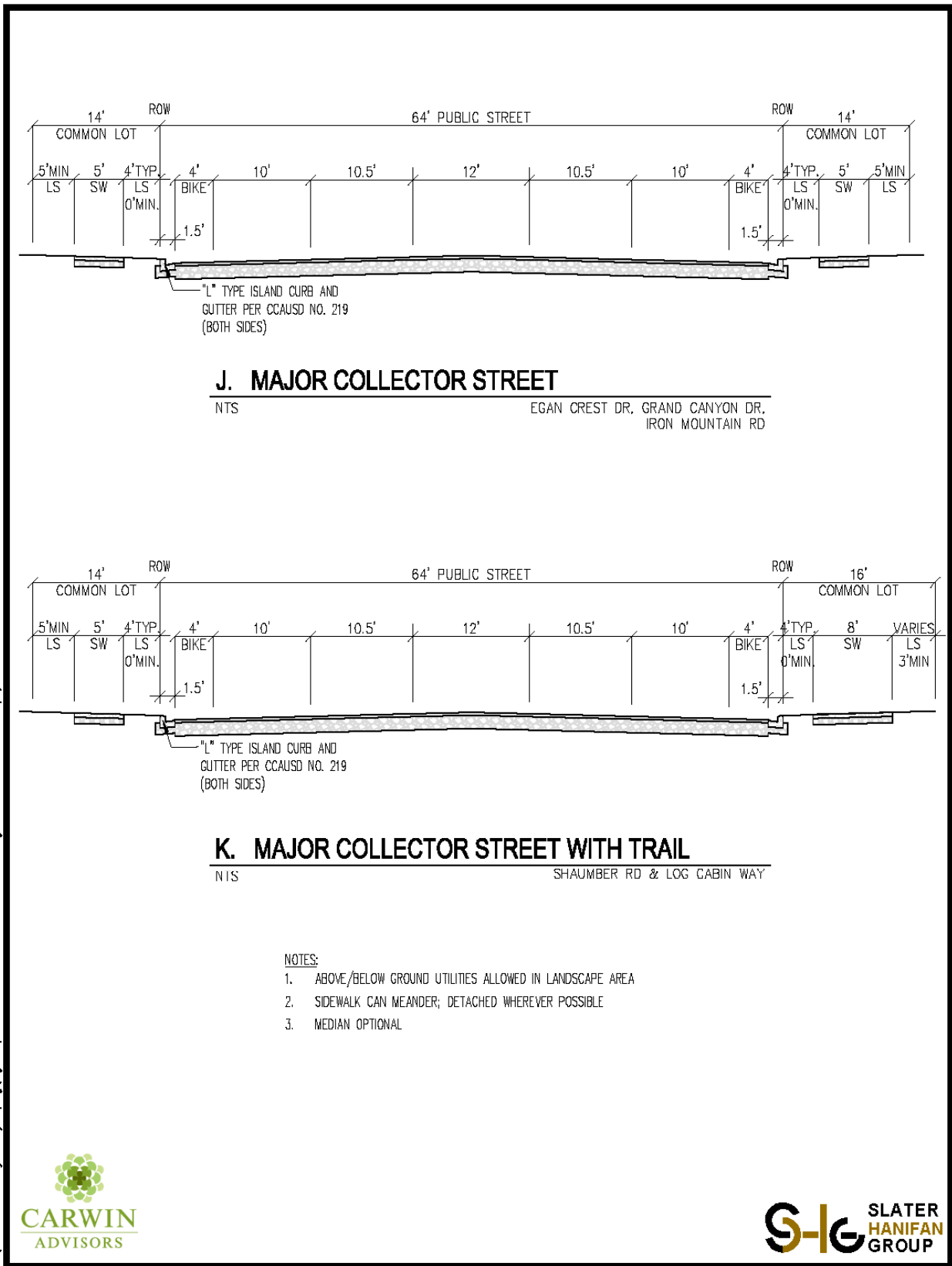
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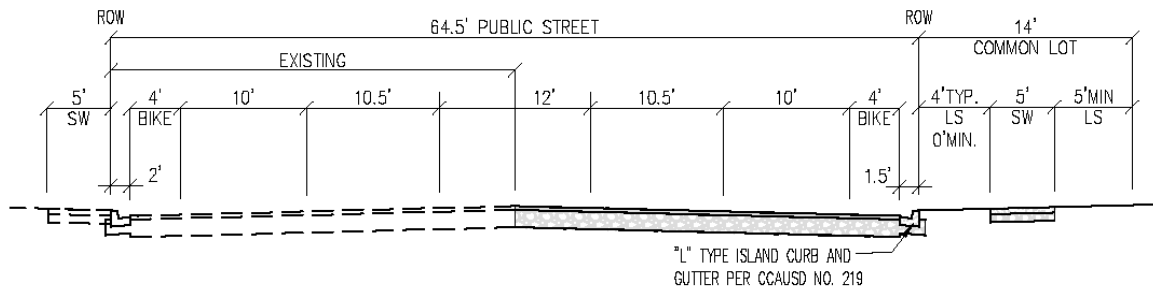
SKY POINTE DR

NOTES:

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE
3. MEDIAN OPTIONAL



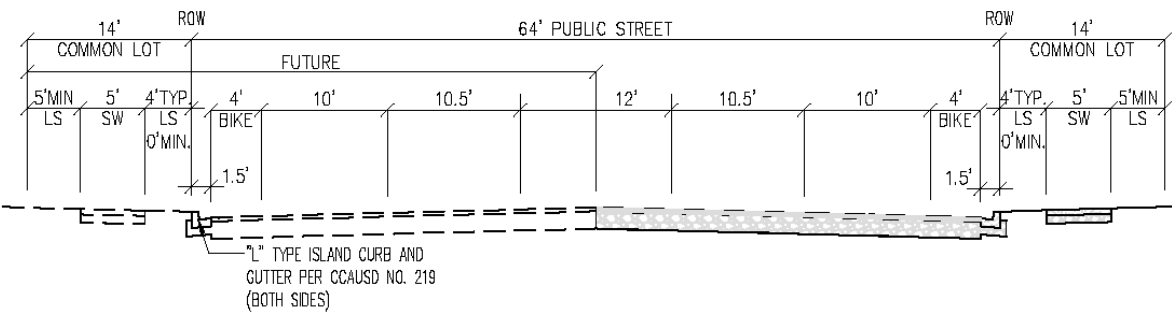




L. MAJOR COLLECTOR HALF STREET

NTS

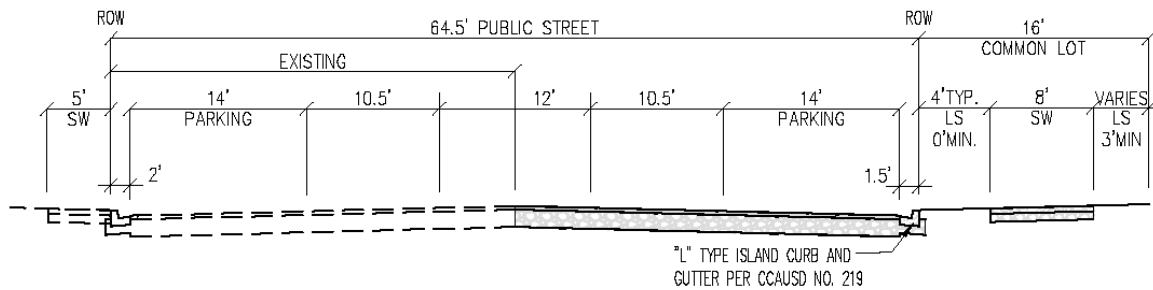
GRAND CANYON DR



M. MAJOR COLLECTOR HALF STREET

NTS

IRON MOUNTAIN RD



N. MAJOR COLLECTOR HALF STREET WITH TRAIL

NTS

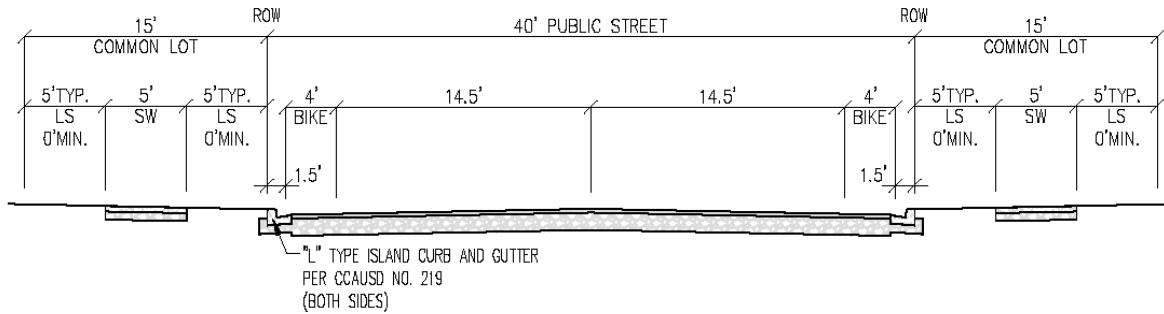
IRON MOUNTAIN RD

NOTES:

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE
3. MEDIAN OPTIONAL



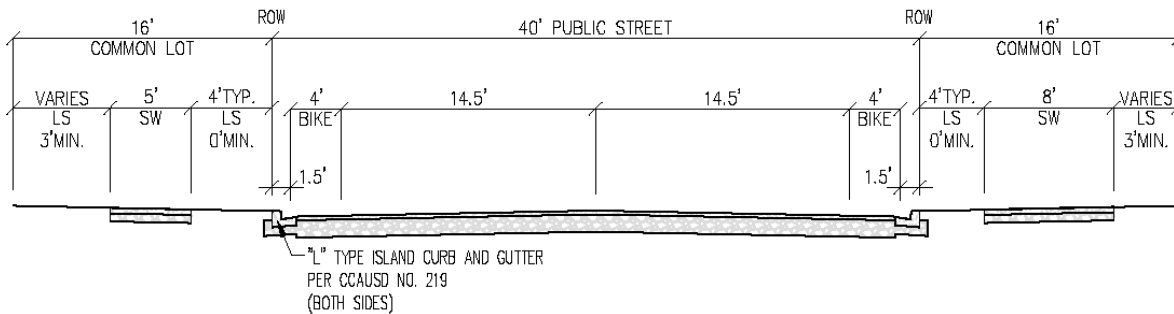
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O. MINOR COLLECTOR STREET

NTS

RACEL ST & INTERNAL COLLECTORS



P. MINOR COLLECTOR STREET WITH TRAIL

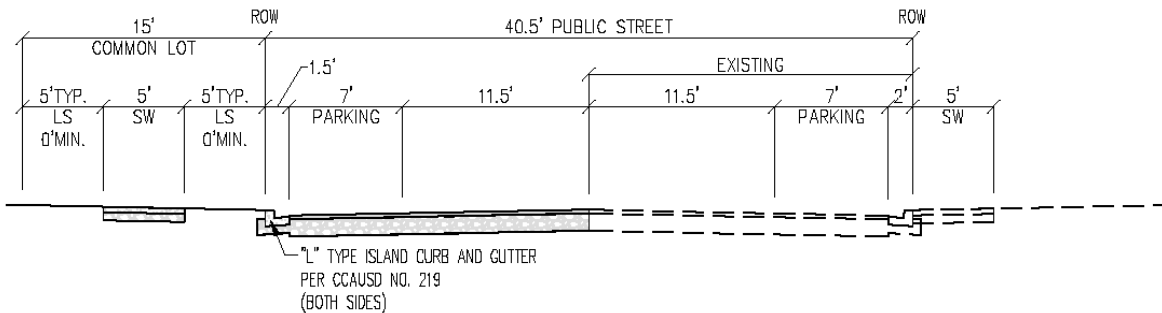
NTS

TEE PEE LN & INTERNAL COLLECTORS

NOTES:

1. NOT USED FOR DIRECT RESIDENTIAL DRIVEWAY ACCESS
2. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
3. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE

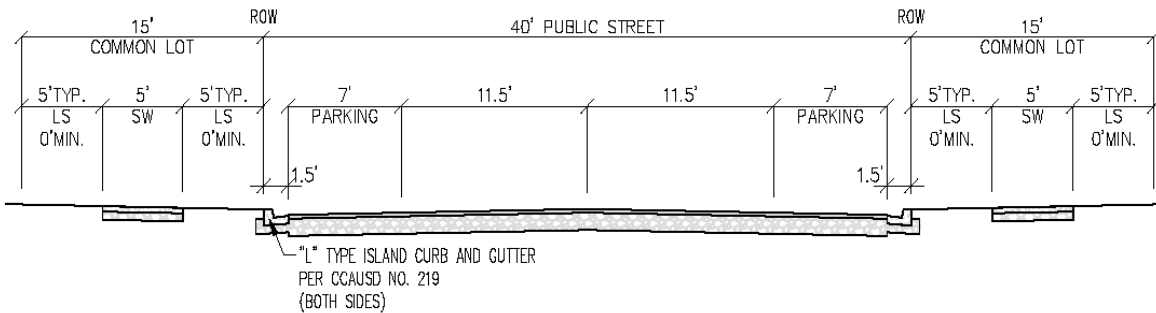




Q. MINOR COLLECTOR HALF STREET

NTS

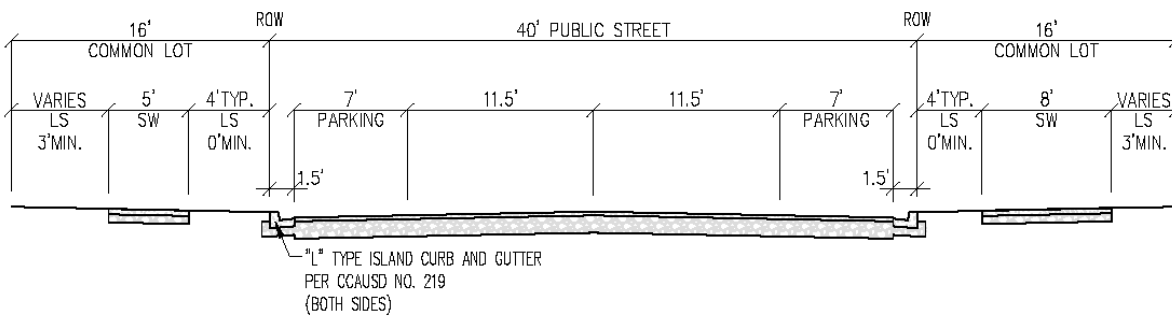
BRENT RD & TEE PEE LN



R. MINOR COLLECTOR STREET

NTS

EGAN CREST DR, RACEL ST & INTERNAL COLLECTORS



S. MINOR COLLECTOR STREET WITH TRAIL

NTS

EGAN CREST DR

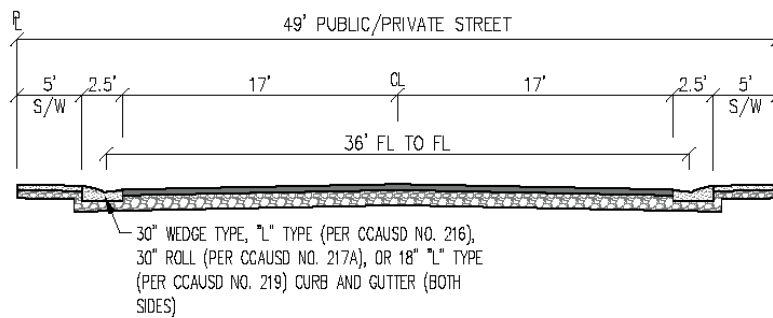
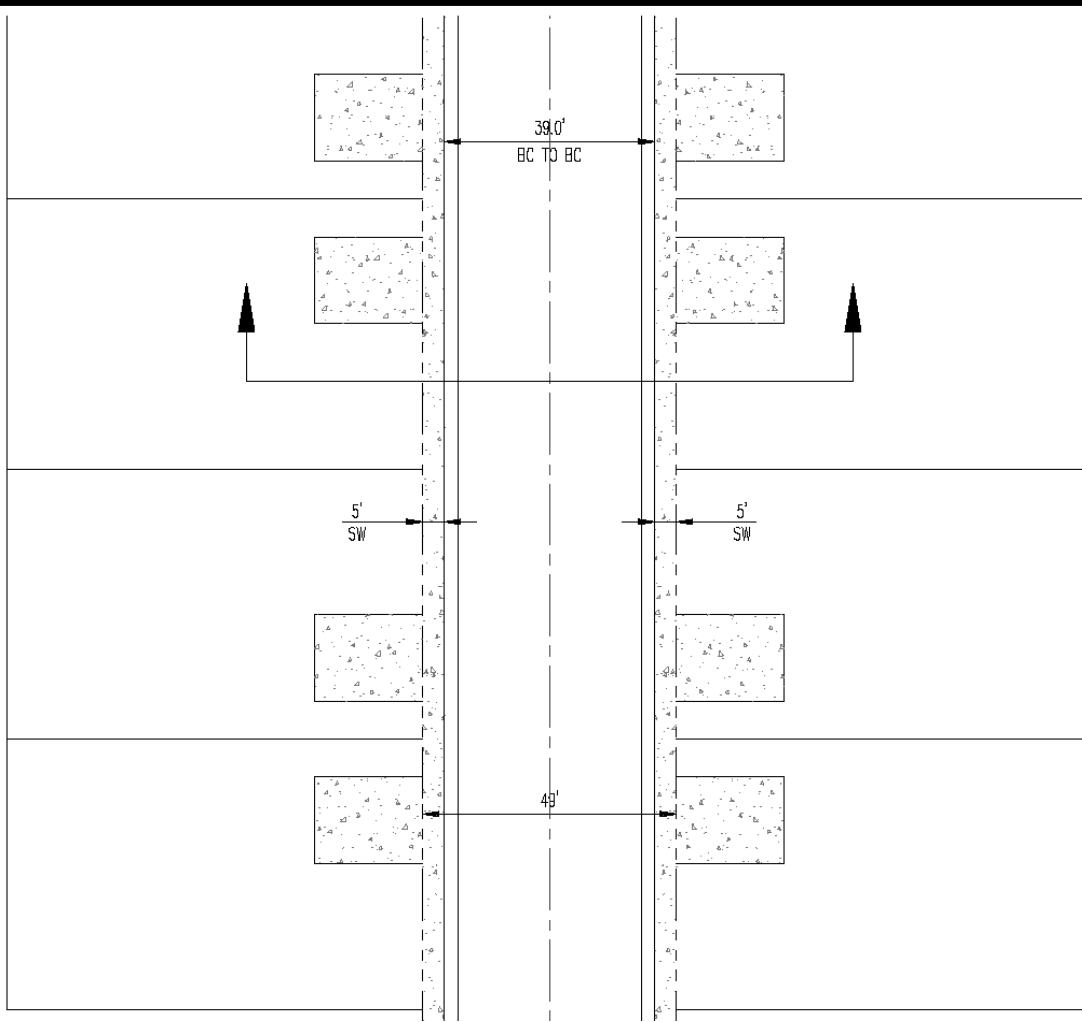
NOTES:

1. NOT USED FOR DIRECT RESIDENTIAL DRIVEWAY ACCESS
2. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
3. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE



7/5/2011

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NOTES:

1. PARKING ALLOWED ON BOTH SIDES OF THE STREET

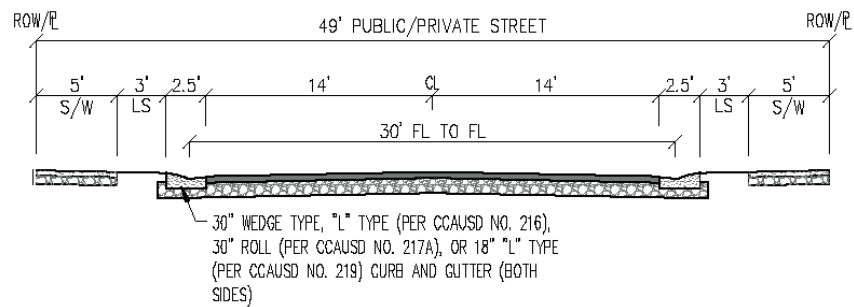
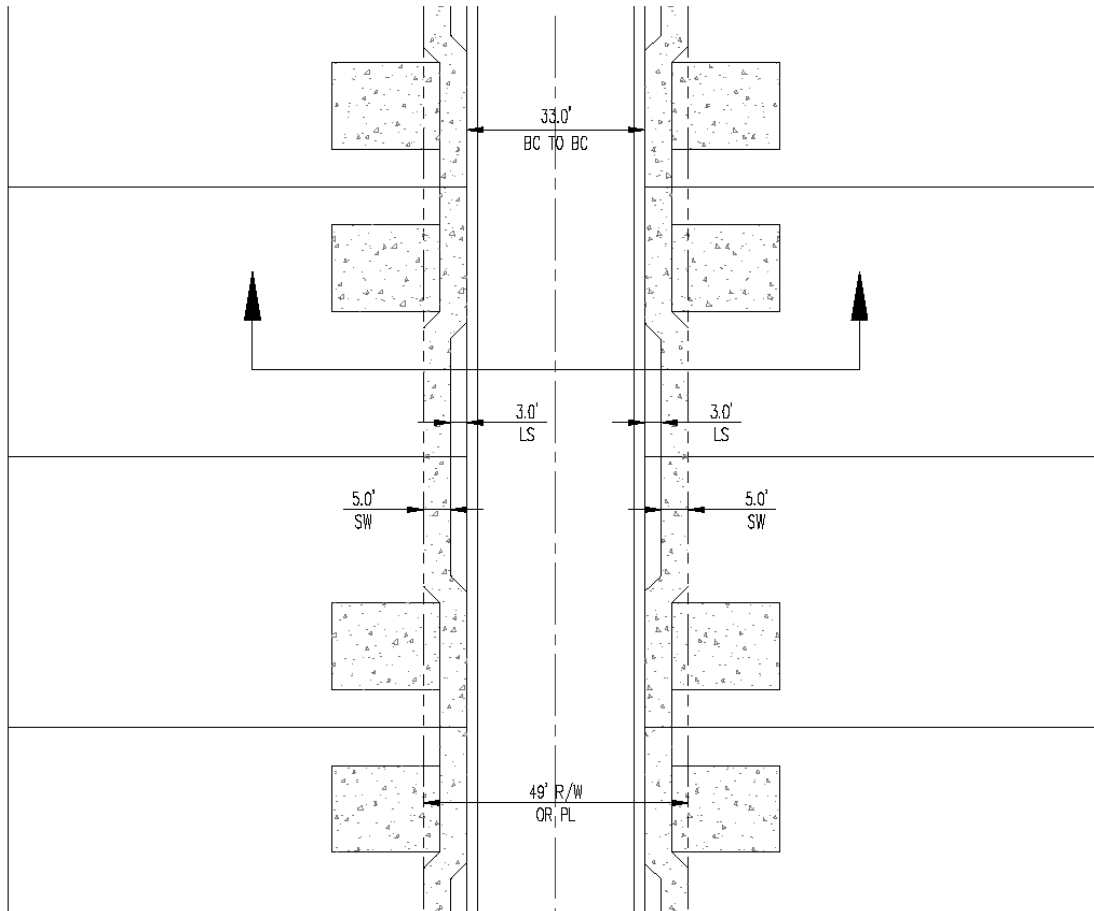
49' PUBLIC/PRIVATE STREET SECTION

NTS



7/5/2011

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NOTES

1. PARKING ALLOWED ON BOTH SIDES OF THE STREET
2. HOUSES MUST BE SPRINKLED

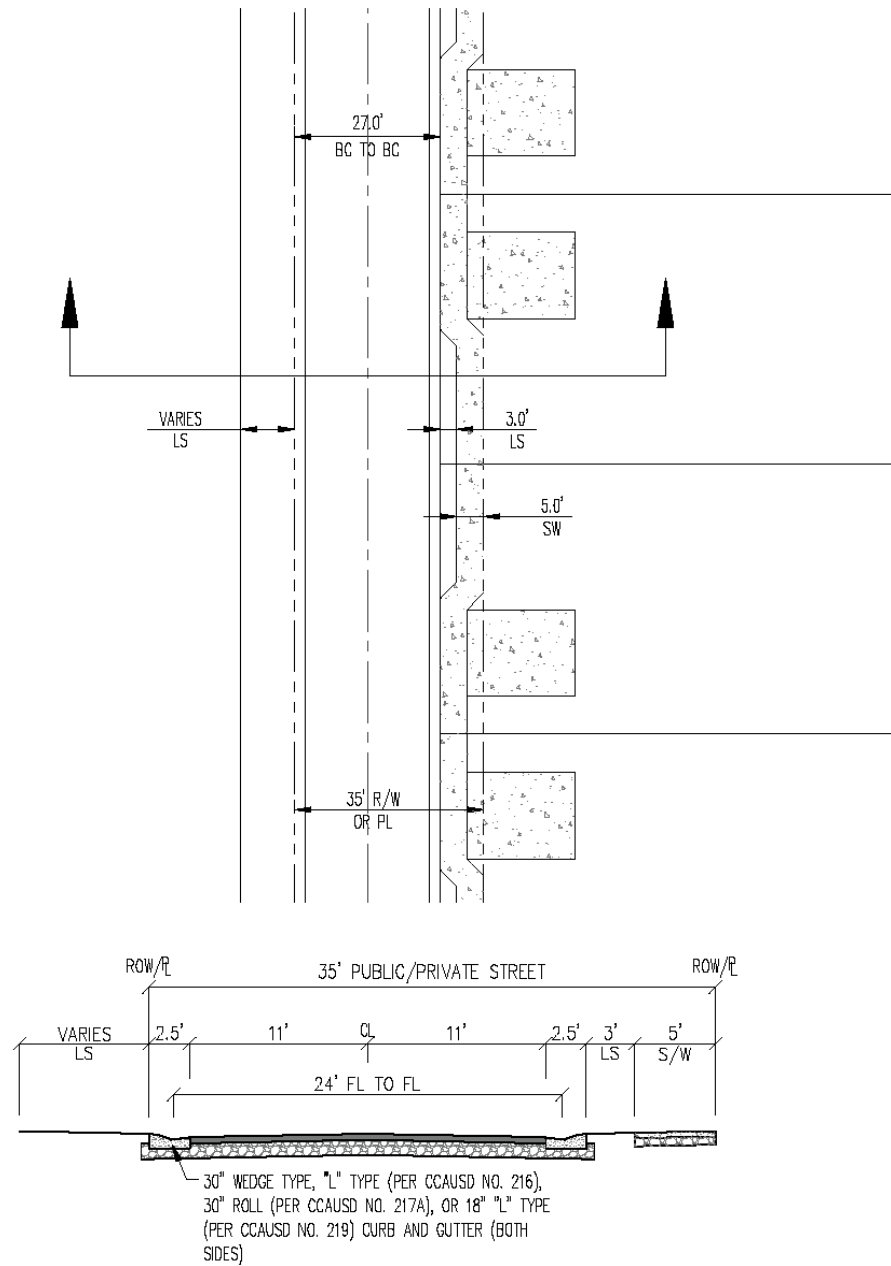
49' PUBLIC/PRIVATE STREET SECTION (ALT 1)

NTS



7/5/2011

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NOTES:

1. PARKING ALLOWED ON RESIDENTIAL SIDE OF THE STREET ONLY
2. HOUSES MUST BE SPRINKLED

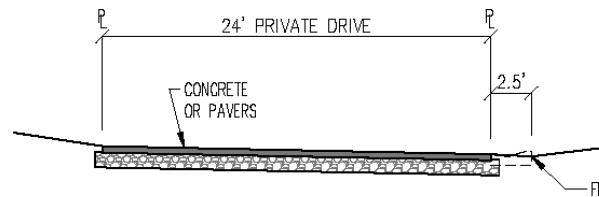
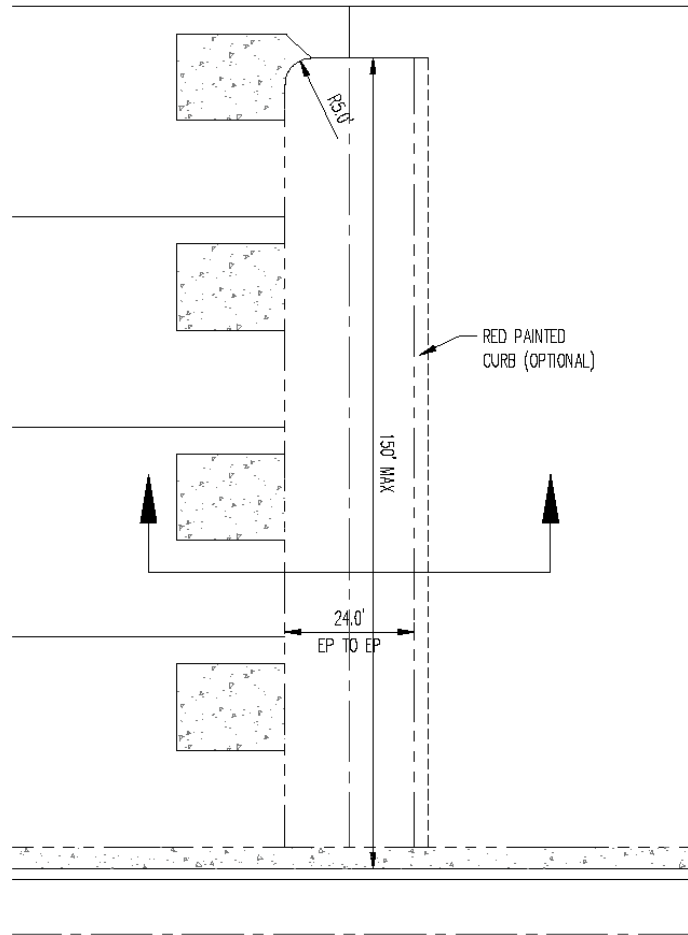
35' PUBLIC/PRIVATE SINGLE-LOADED STREET SECTION

NTS



7/5/2011

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NOTES:

1. 150' MAXIMUM LENGTH FROM BACK OF CURB
2. MAXIMUM OF FOUR LOTS FRONTING PRIVATE DRIVE
3. ALLOWS PARKING ON ONE SIDE
4. OPTIONAL CURB AND GUTTER ONE SIDE
5. OPTIONAL PAN DRIVEWAY WITH INVERTED CROWN

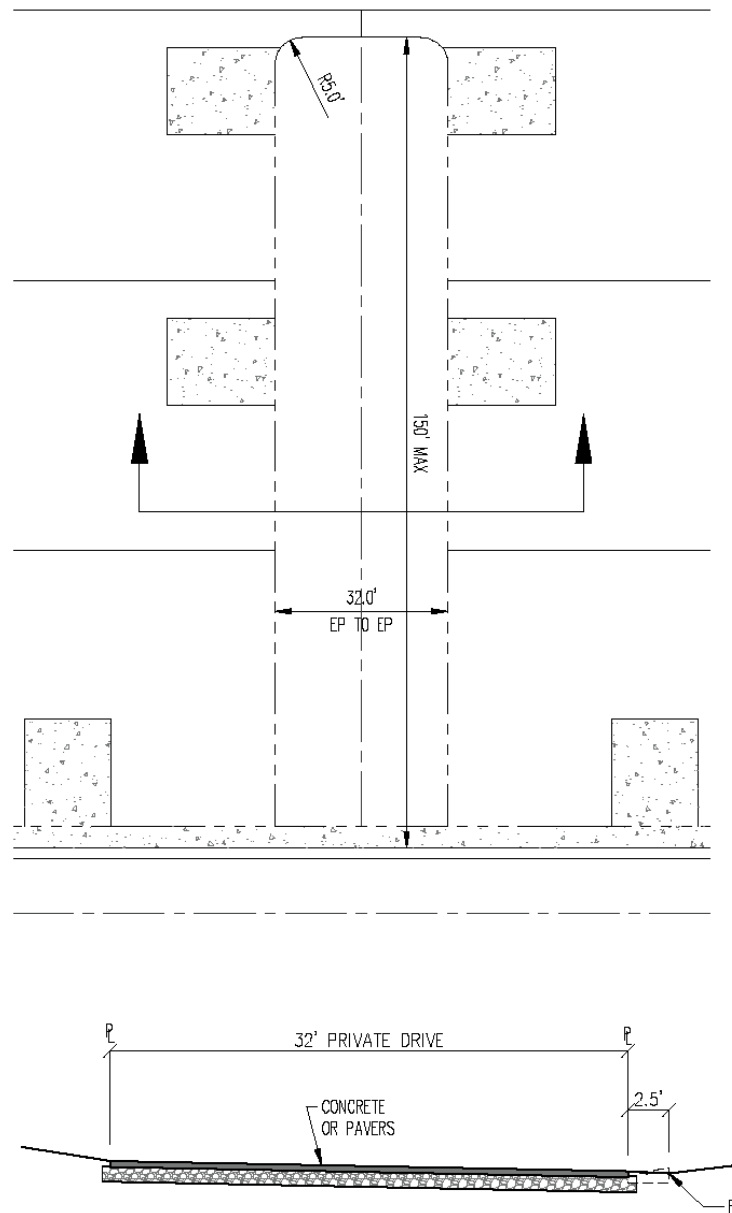
24' SHARED PRIVATE DRIVE DETAIL

NTS



7/5/2011

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NOTES:

1. 150' MAXIMUM LENGTH FROM BACK OF CURB
2. MAXIMUM OF FOUR LOTS FRONTING PRIVATE DRIVE
3. ALLOWS PARKING ON BOTH SIDES
4. OPTIONAL CURB AND GUTTER ONE SIDE
5. OPTIONAL PAN DRIVEWAY WITH INVERTED CROWN

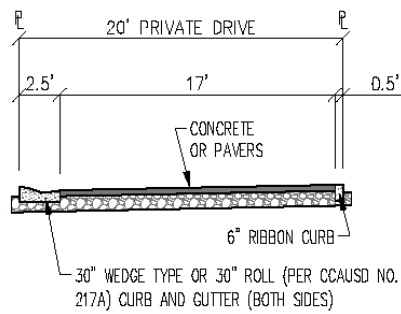
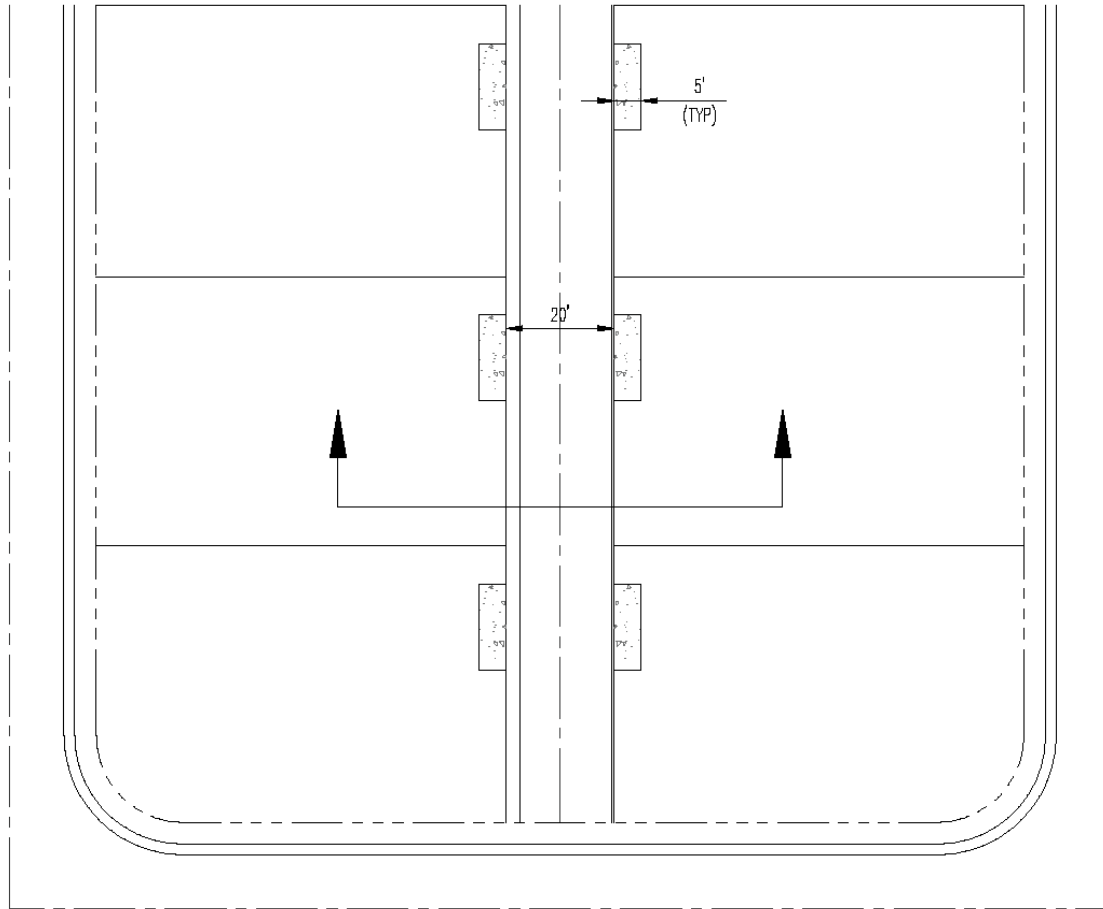
32' SHARED PRIVATE DRIVE DETAIL

NTS



7/5/2011

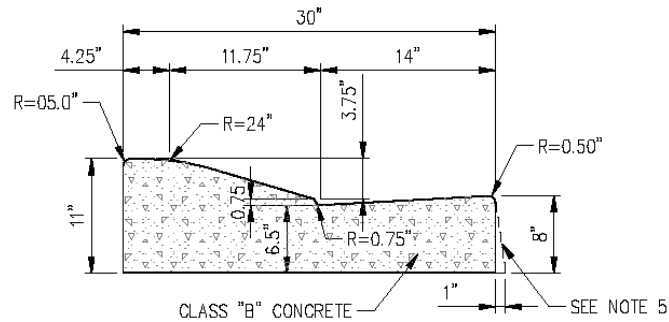
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20' PRIVATE ALLEY DRIVE DETAIL

NTS



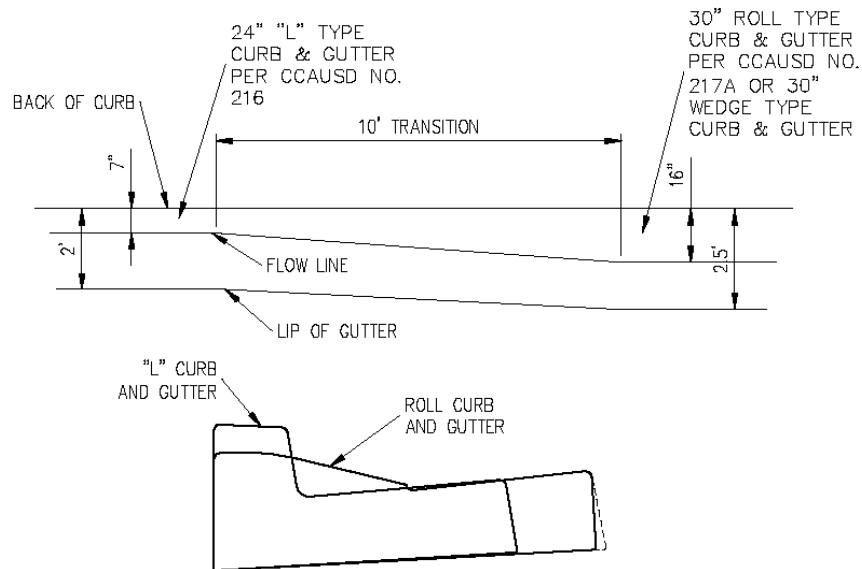


NOTES:

1. MODIFIED CCAUSD NO. 217A
2. ALL CURB FLOW LINES SHALL BE WATER TESTED. ANY CURB THAT DOES NOT FLOW SHALL BE REMOVED AND REPLACED AS DIRECTED BY CLARK COUNTY AT THE SOLE EXPENSE OF THE CONTRACTOR.

30" WEDGE TYPE CURB AND GUTTER

NTS



10' TRANSITION FROM 'L' CURB TO ROLL CURB

NTS

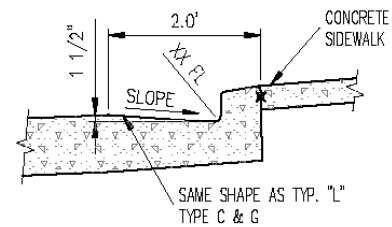
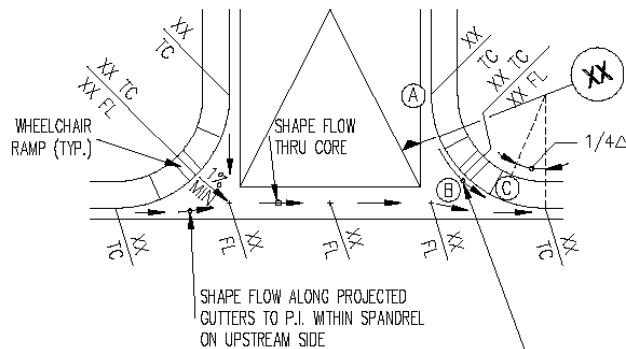


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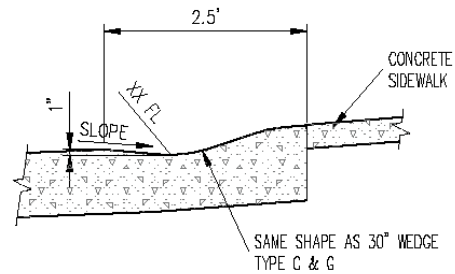
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CASE I SECTION

SEE CCAUSD 228

XX



CASE II SECTION

SEE 30" WEDGE CURB DETAIL

XX

NOTES:

1. MODIFIED CCAUSD NO. 228
2. CROSS GUTTERS TO FLOW AT GRADES SHOWN ON DRAWINGS.
3. CONSTRUCTION STAKING TO BE PROVIDED AT ALL POINTS DESIGNATED BY XX SHOWN ON DETAIL ABOVE.
4. MAINTAIN SECTION "X" FROM POINT A TO POINT B, TRANSITION AREA FROM POINT B TO POINT C.

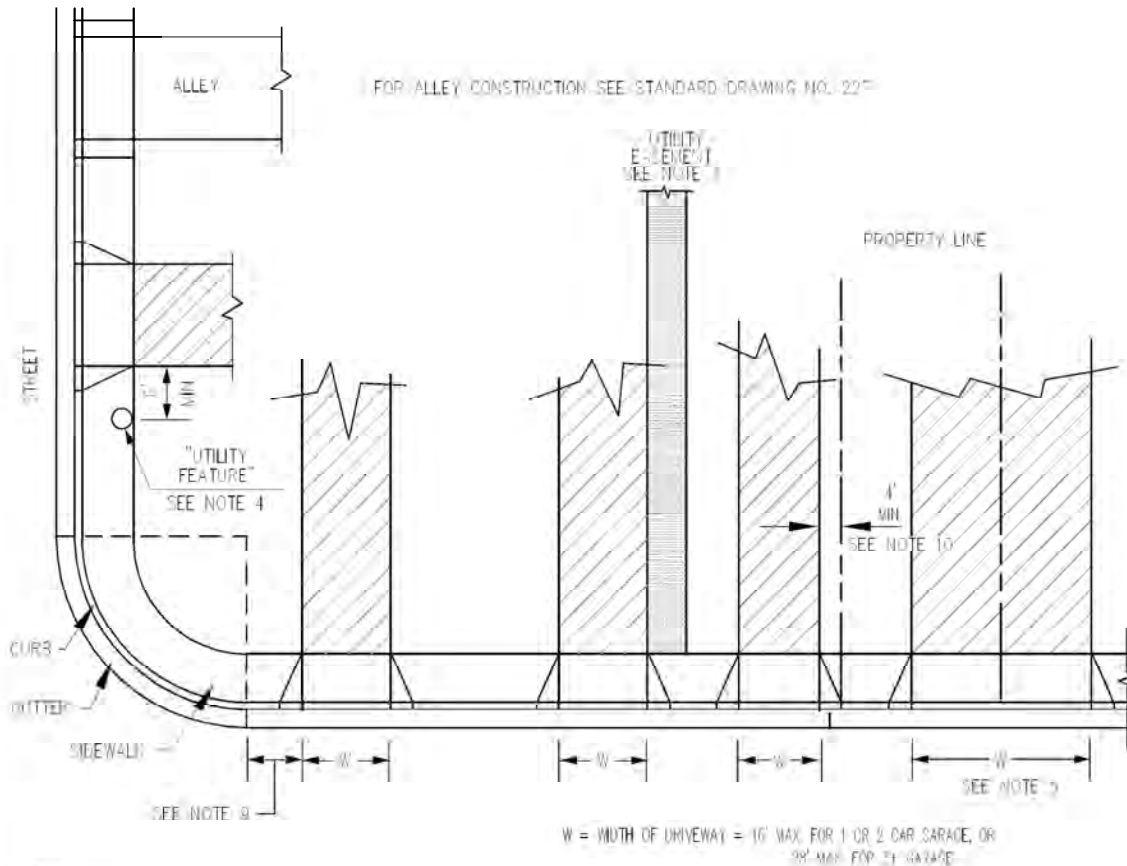
TYPICAL CROSS GUTTER W/ 30" ROLL TYPE CURB AND GUTTER DETAIL

NTS



10/25/2011

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NOTES:

1. ALL RESIDENTIAL PROPERTIES MAY HAVE ONLY ONE CURB CUT EXCEPT CIRCULAR DRIVEWAYS AS SHOWN.
2. NO DRIVEWAY SHALL BE LOCATED WHOLLY OR PARTIALLY, ON OR OVER A UTILITY EASEMENT WHICH RUNS PERPENDICULAR TO THE CURB LINE.
3. NO DRIVEWAY SHALL BE LOCATED WITHIN 6 FEET OF A LIGHT POLE (UNLESS ACCEPTED BY THE ENTITY TRAFFIC ENGINEER), FIRE HYDRANT, MAIL BOX, ABOVE-GROUND ELECTRICAL TRANSFER BOX OR BLOCK WALL HIGHER THAN 2 FEET.
4. JOINT DRIVEWAY CONSTRUCTION MAY BE PERMITTED AT ANY TWO RESIDENTIAL PROPERTIES OF 60 FEET IN WIDTH OR LESS. THE WIDTH OF THE JOINT DRIVEWAY SHALL BE A MAXIMUM OF 24 FEET. A JOINT DRIVEWAY AGREEMENT SHALL BE REQUIRED.
5. GEOMETRICS APPLY TO NEW CONSTRUCTION ONLY, AND MAY VARY IN EXISTING SUBDIVISIONS SUBJECT TO APPROVAL OF THE ENGINEER.
6. MULTI-FAMILY RESIDENTIAL AND ALL NON-RESIDENTIAL DRIVEWAYS SHALL CONFORM TO THE COMMERCIAL DRIVEWAY STANDARDS.
7. ALL DRIVEWAY LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER.
8. FOR CURB DEPRESSION AND DRIVEWAY APRON DETAIL SEE CCAUSD NO. 223.
9. 2.0' MINIMUM AT INTERNAL SUBDIVISION INTERSECTIONS FOR LOTS 40' WIDE OR LESS AND 5.0' MINIMUM AT SUBDIVISION ENTRANCE.
10. THE 4.0' DISTANCE FROM DRIVEWAY TO SIDE PROPERTY LINE SHOULD BE FOR LOTS 40' WIDE OR LESS AND ALL WIDER LOT PRODUCTS SHOULD HAVE THE STANDARD 6.0'.

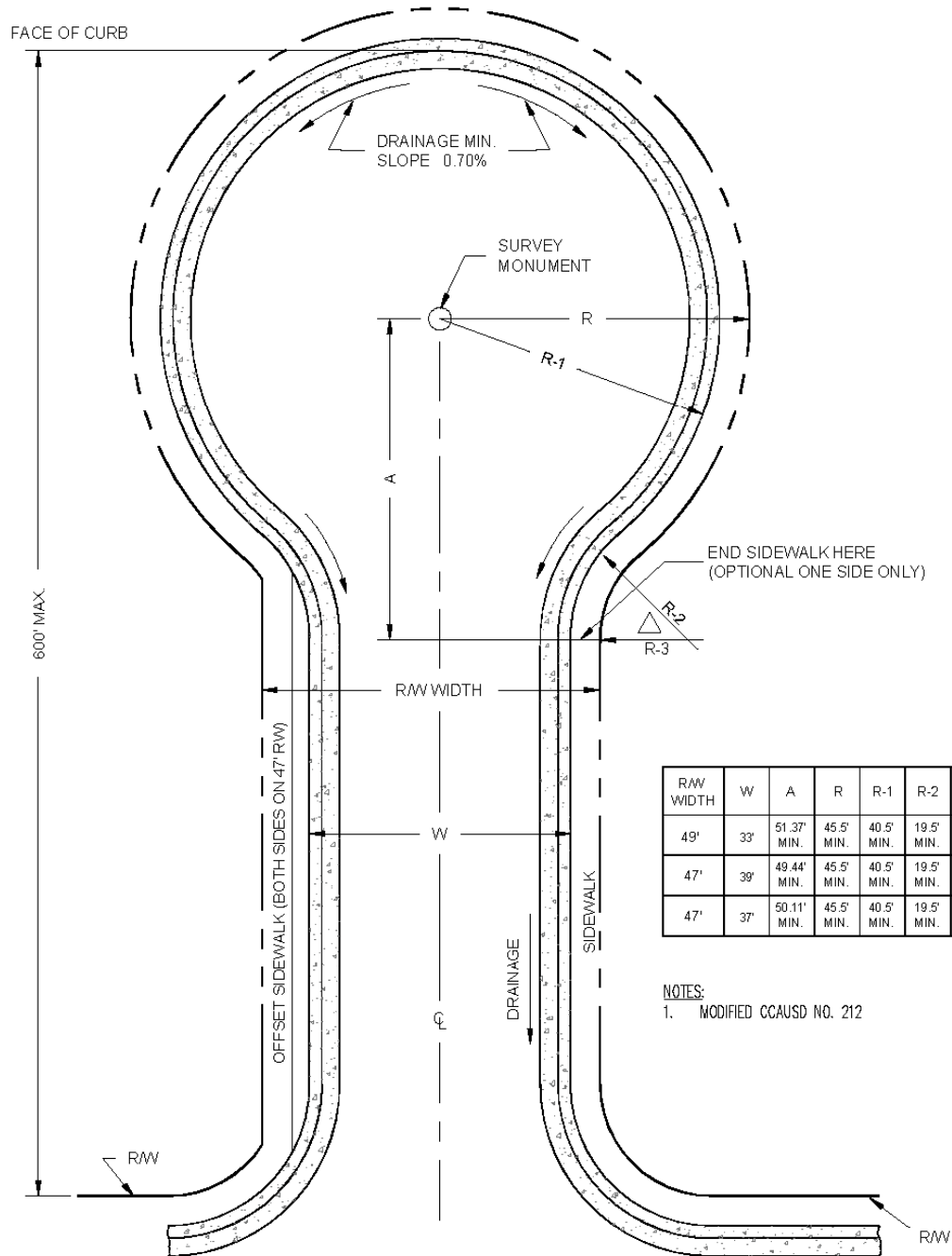
MODIFIED RESIDENTIAL DRIVEWAY GEOMETRICS

MODIFIED CCAUSD NO. 222 (INTERIOR STREETS ONLY)
NTS



7/5/2011

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NOTES:

1. MODIFIED CCAUSD NO. 212

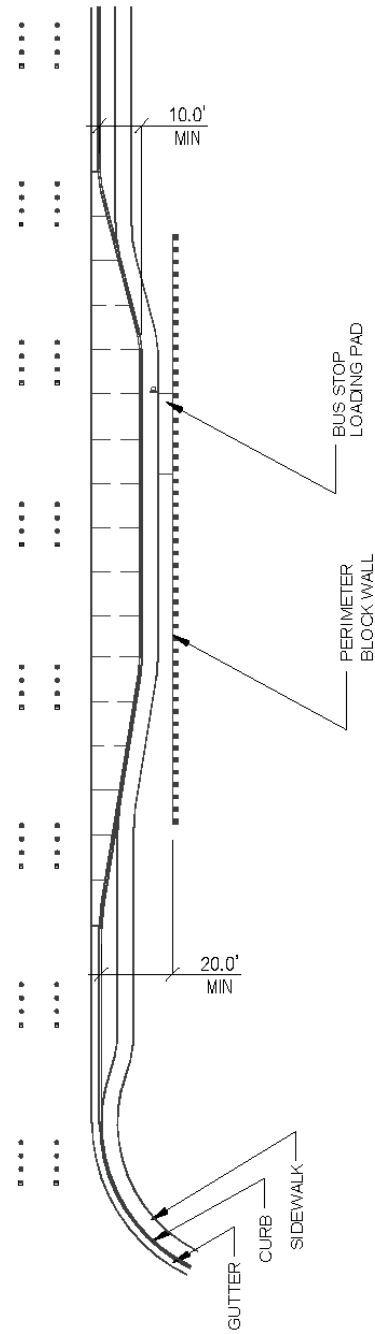
CUL-DE-SAC (ALTERNATE)

NTS



7/5/2011

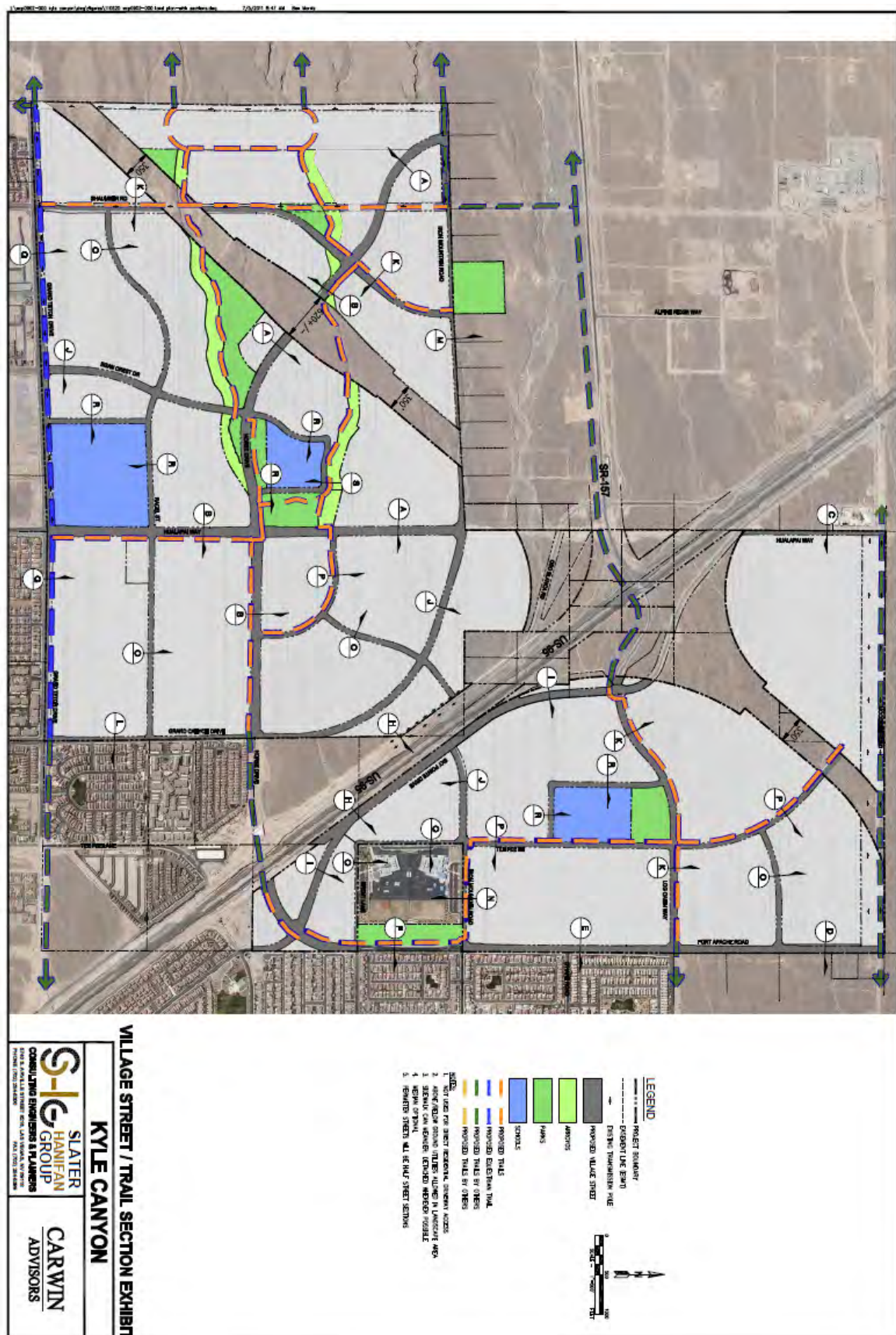
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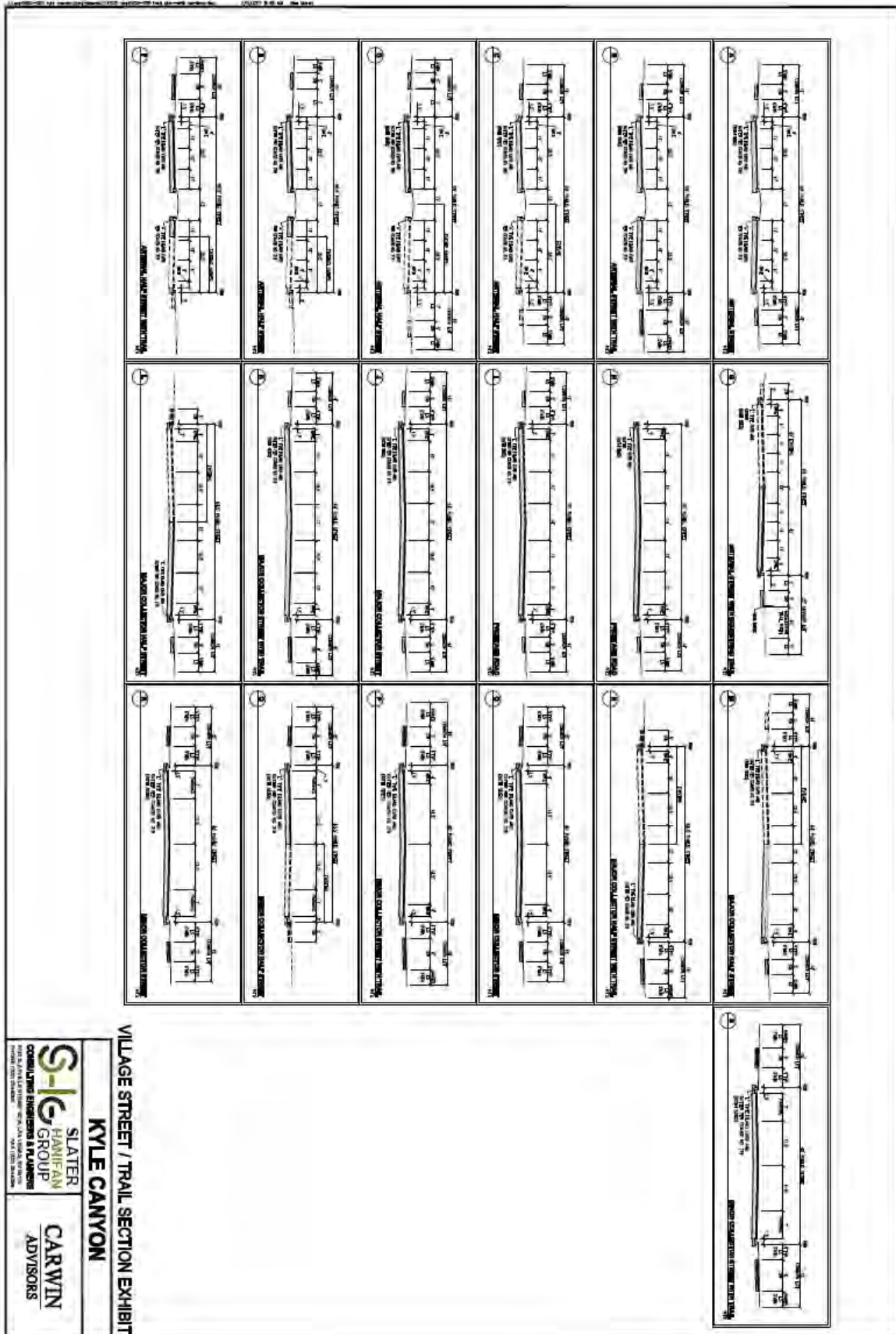


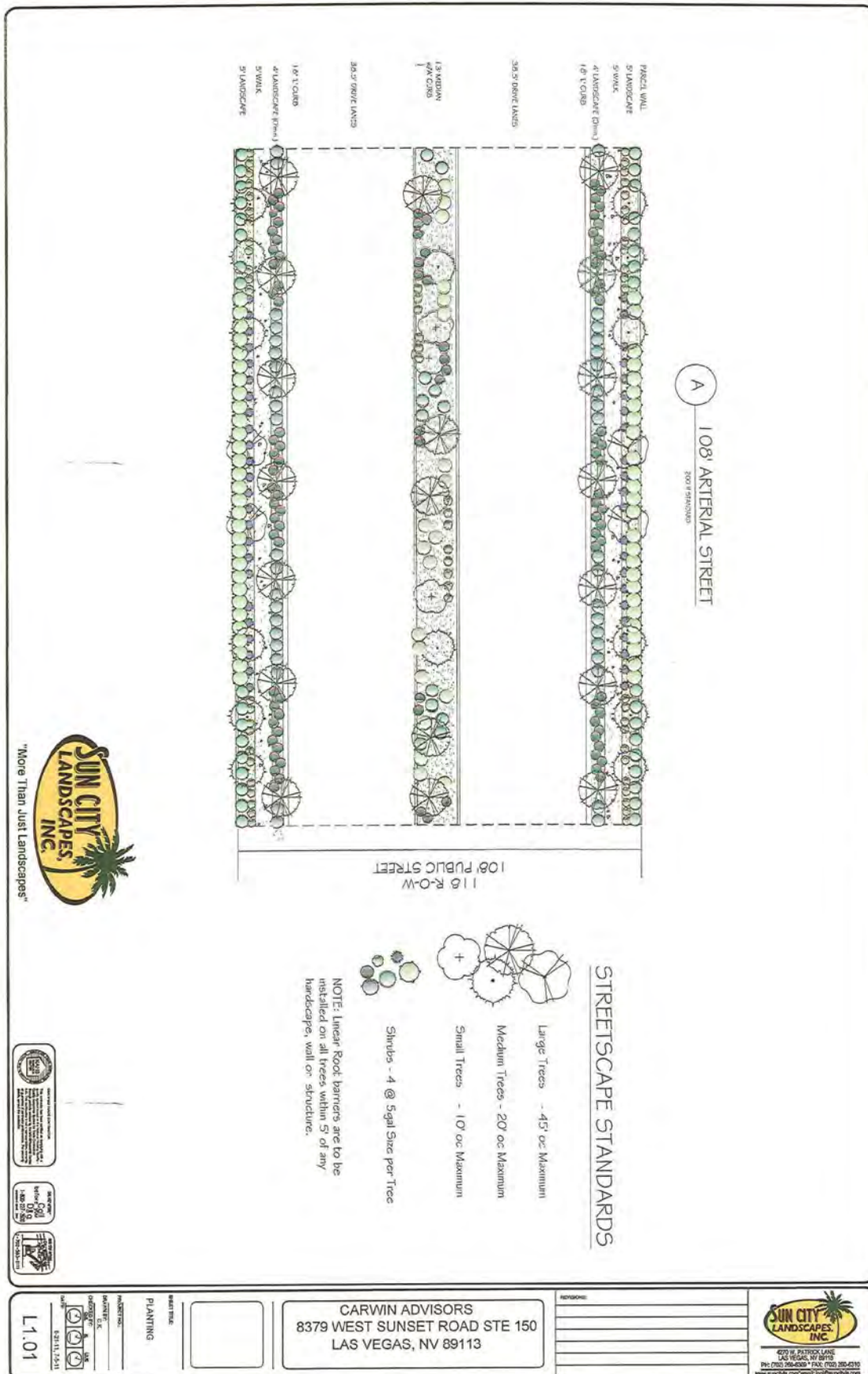
LANDSCAPE BUFFER ALONG BUS TURN-OUT

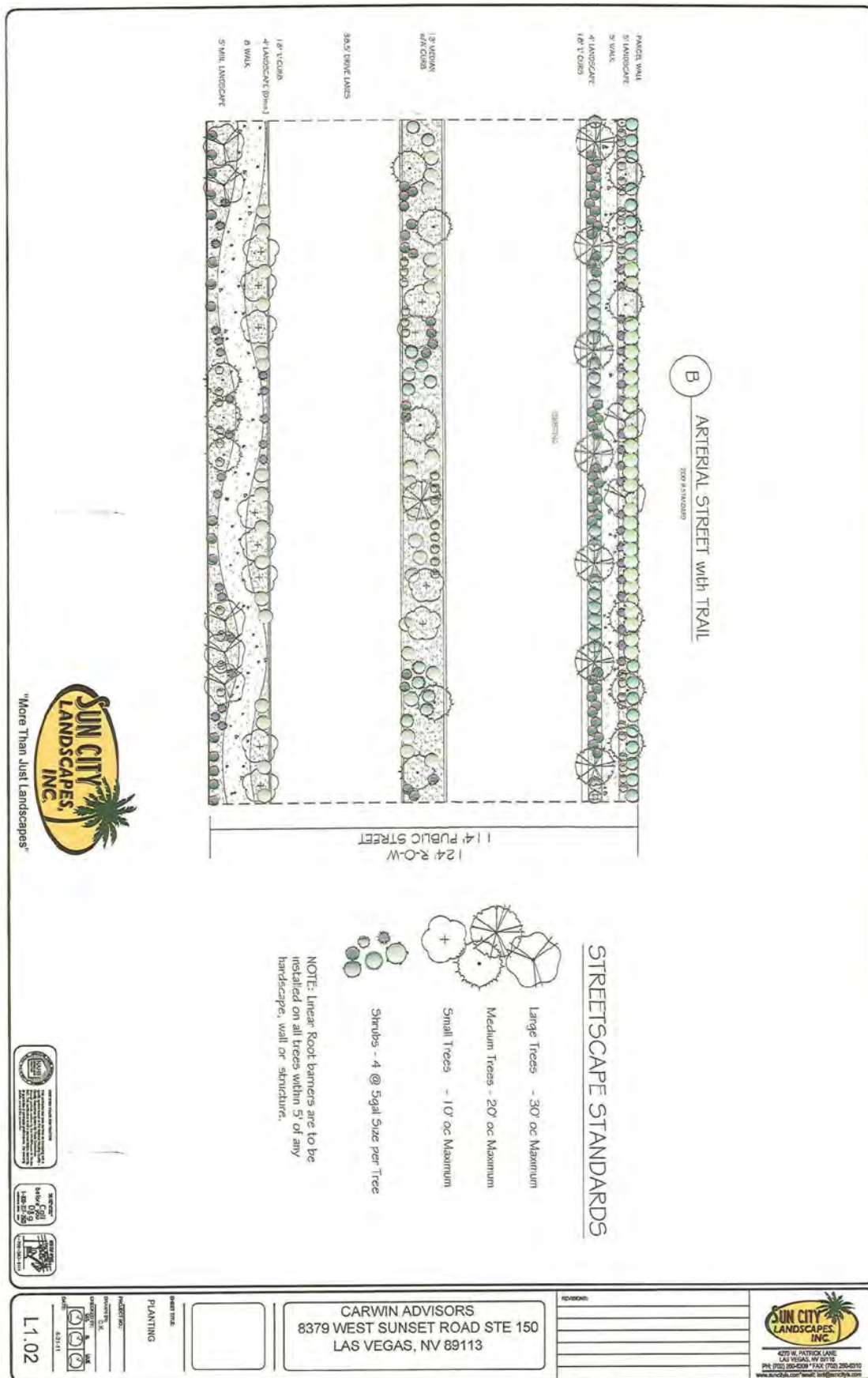
MODIFIED CCAUSD NO. 234.1
NTS



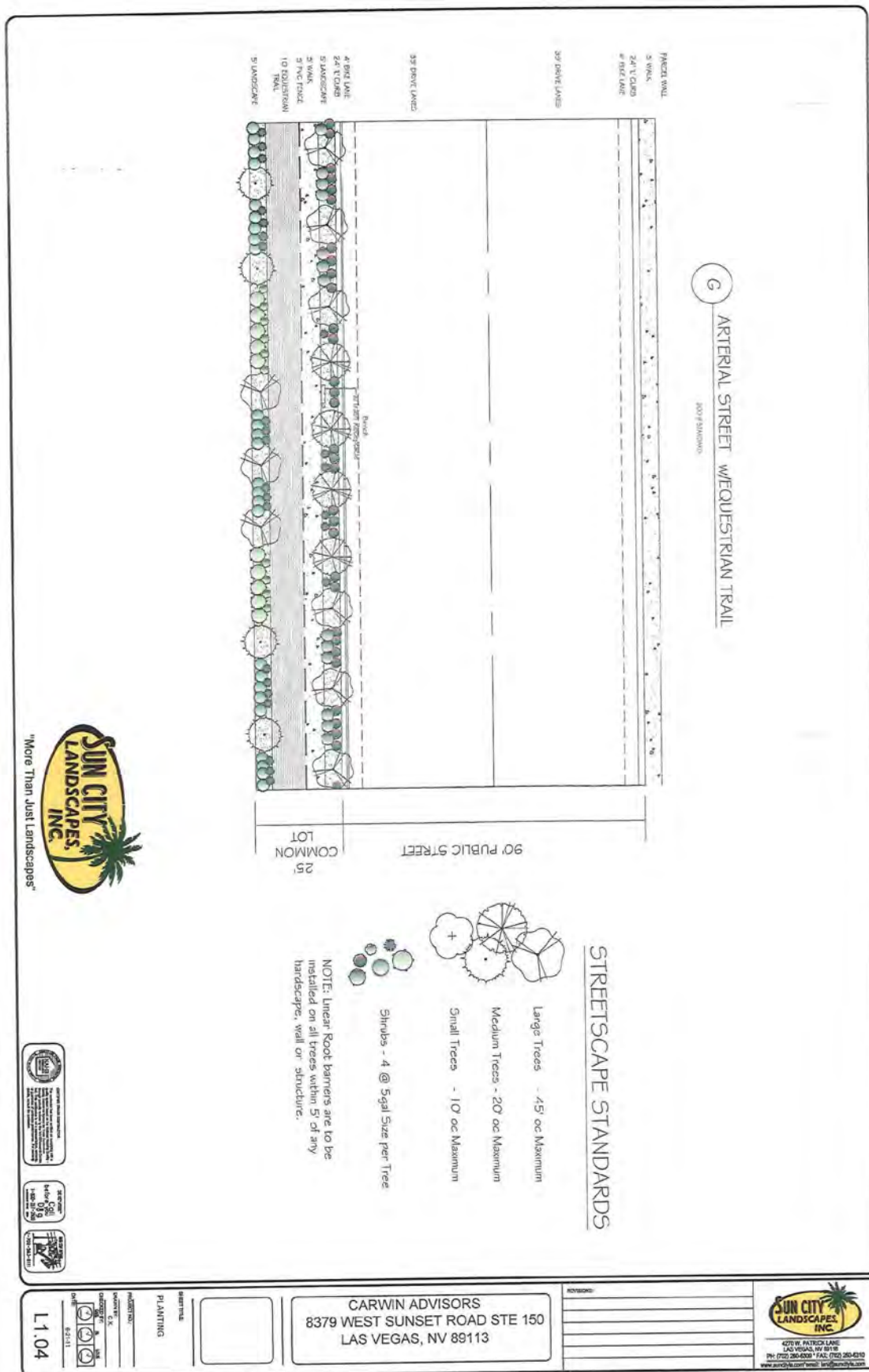


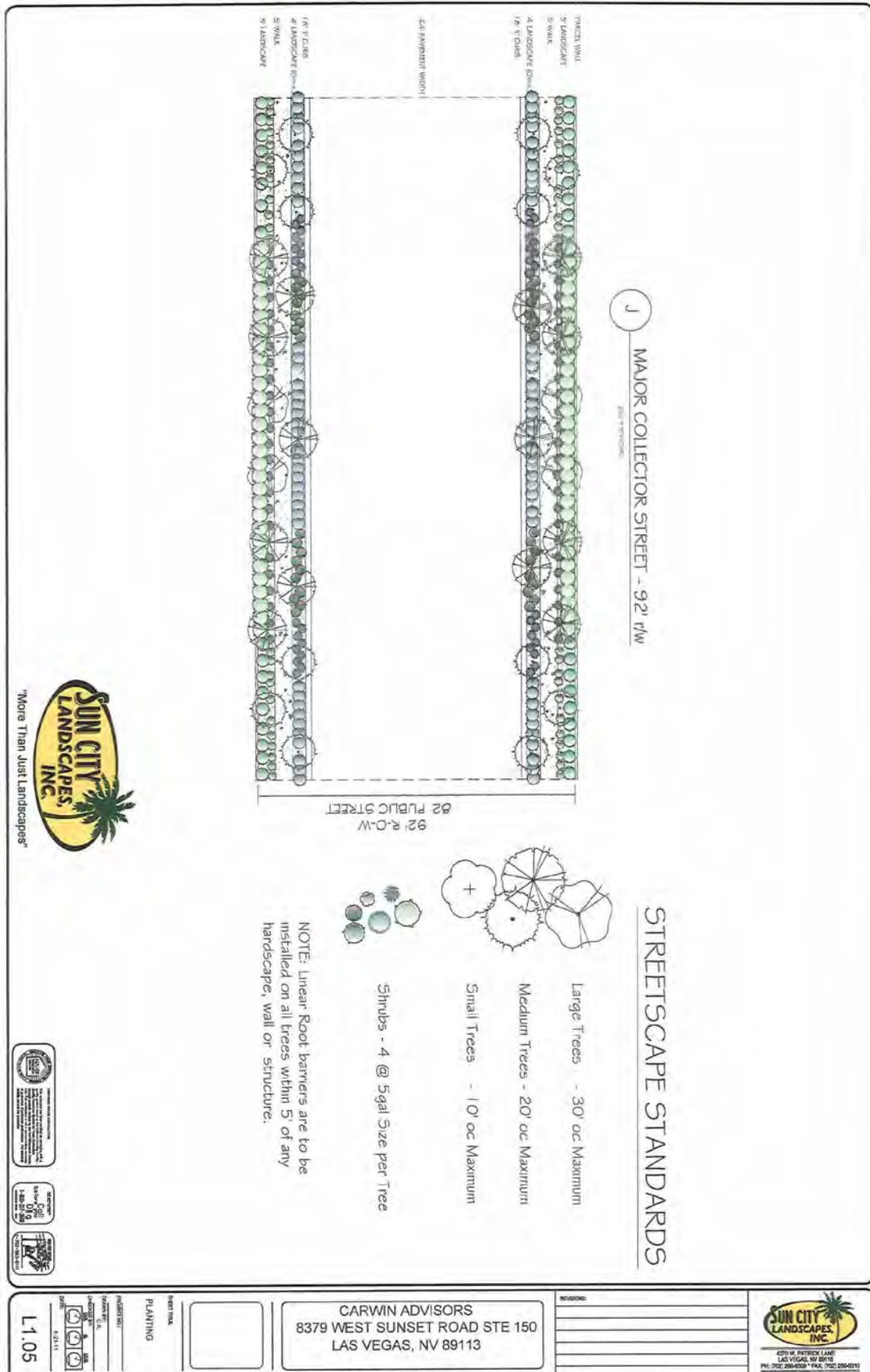






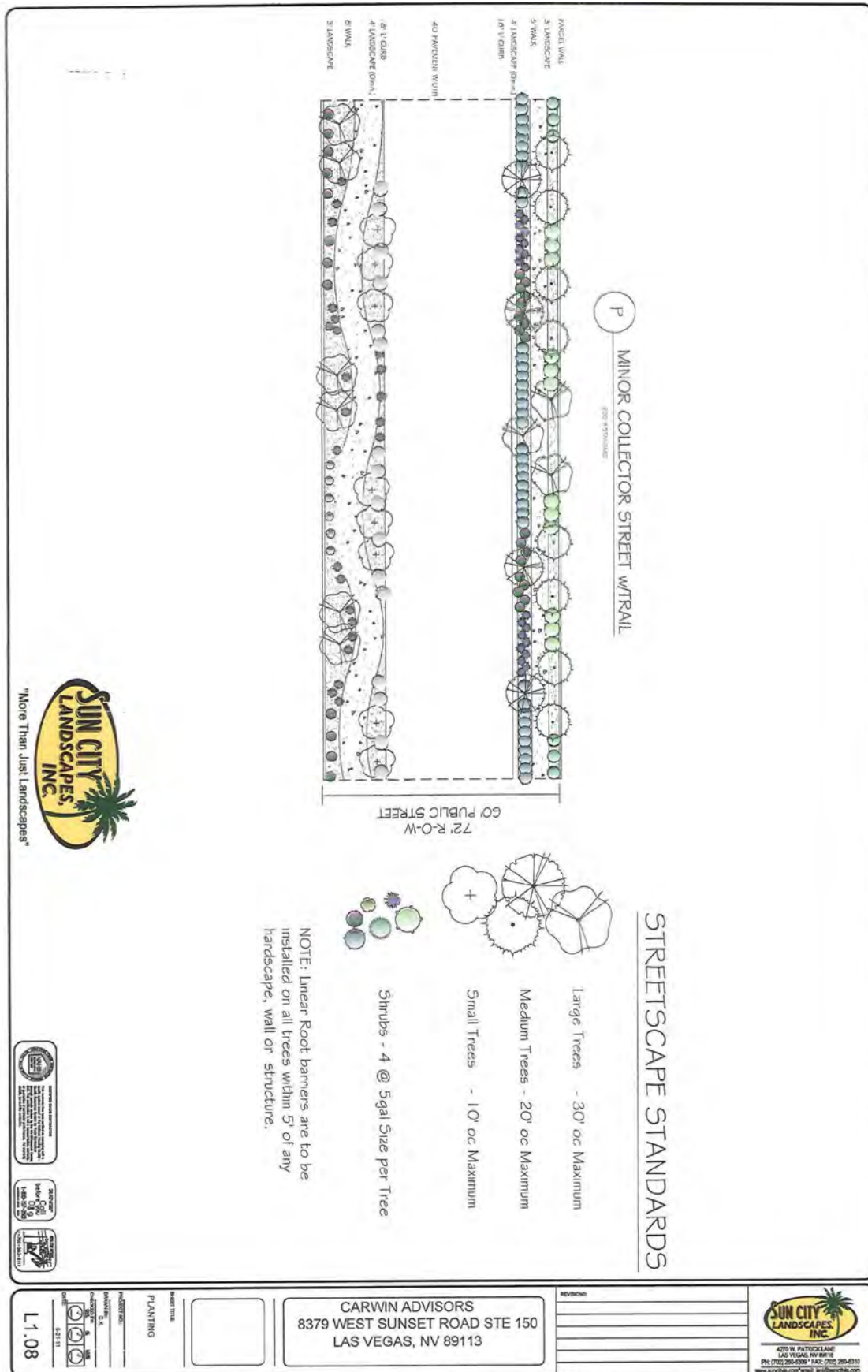


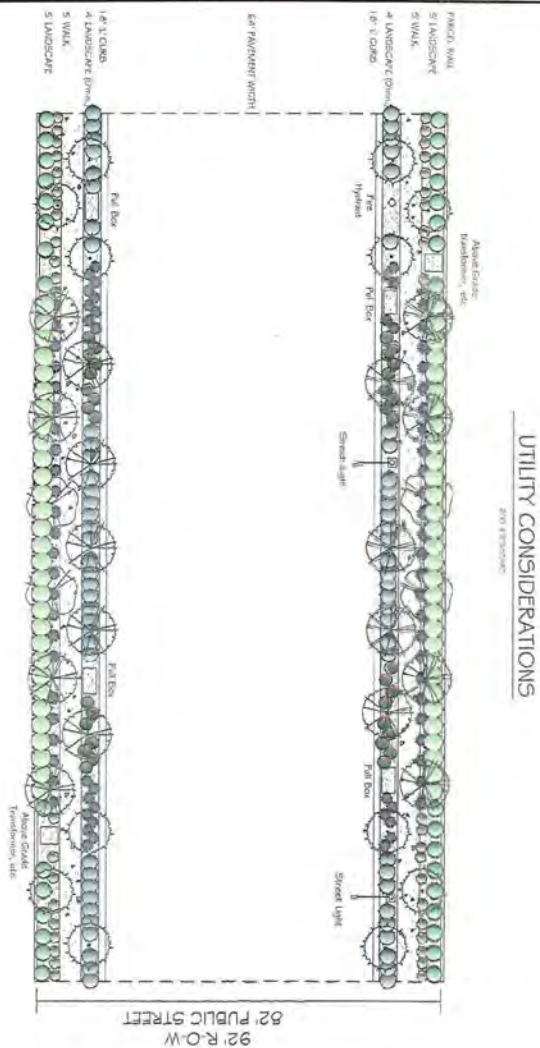




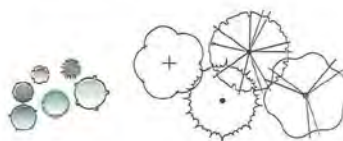








STREETSCAPE STANDARDS



Large Trees - 30' or Maximum

Medium Trees - 20' or Maximum

Small Trees - 10' or Maximum

Shrubs - 4 @ 5 gal Size per Tree

NOTE: Linear Root barriers are to be installed on all trees within 5' of any hardscape, wall or structure.



L1.09

CARWIN ADVISORS
8379 WEST SUNSET ROAD STE 150
LAS VEGAS, NV 89113

SUN CITY
LANDSCAPES,
INC.

4270 W. PATRUCK LANE
LAS VEGAS, NV 89118
PH: (702) 266-6308 • FAX: (702) 250-6211
www.suncitylandscapes.com

Appendix A – Plant List

Botanical Name	Common Name
Trees	
<i>Acacia aneura</i>	Mulga Acacia
<i>Acacia constricta</i>	White Thorn Acacia
<i>Acacia farnesiana</i> (=A. <i>smallii</i>)	Sweet Acacia
<i>Acacia greggii</i>	Cat's Claw Acacia
<i>Acacia pendula</i>	Weeping Acacia
<i>Acacia salicina</i>	Willow Acacia
<i>Acacia schaffneri</i>	Twisted Acacia
<i>Acacia stenophylla</i>	Shoestring Acacia
<i>Arbutus unedo</i>	Strawberry Tree
<i>Bismarckia nobilis</i>	Bismarck Palm
<i>Brachychiton populneus</i>	Bottle Tree
<i>Brahea armata</i>	Mexican Blue Palm
<i>Butia capitata</i>	Pindo Palm
<i>Cedrus atlantica</i> 'glauca'	Blue Atlas Cedar
<i>Cedrus deodora</i>	Deodar Cedar
<i>Celtis occidentalis</i>	Common Hackberry
<i>Celtis reticulata</i>	Netleaf Hackberry
<i>Ceratonia siliqua</i>	Carob Tree
<i>Cercis canadensis</i>	Eastern Redbud
<i>Cercis occidentalis</i>	Western Redbud
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Chilopsis linearis</i> + hybrids	Desert Willow
x <i>Chitalpa tashkentensis</i>	Chitalpa
<i>Cordia boissieri</i>	Texas Olive
<i>Cotinus coggygria</i>	Smoke Tree
<i>Cupressus glabra</i>	Arizona Cypress
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Ebenopsis ebano</i> (=Pithecellobium)	Texas Ebony
<i>Elaeocarpus decipiens</i>	Japanese Blueberry
<i>Eriobotrya japonica</i>	Loquat
<i>Eucalyptus microtheca</i>	Coolibah Tree
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum
<i>Eucalyptus</i> species	Eucalyptus/Gum Tree
<i>Eysenhardtia orthocarpa</i>	Kidneywood
<i>Fraxinus greggii</i>	Littleleaf Ash
<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash
<i>Fraxinus velutina</i>	Arizona Ash
<i>F. v. glabra</i>	Modesto Ash
<i>F. v. 'Rio Grande,' 'Fan-Tex'</i>	Fan-Tex/Rio Grande Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia triacanthos</i> cultivars	Honey Locust
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree

Botanical Name	Common Name
Trees	
<i>Koelreuteria paniculata</i>	Goldenrain Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Laurus nobilis</i>	Bay Laurel
<i>Leucaena retusa</i>	Golden Ball Lead Tree
<i>Olea europaea</i> 'Swan Hill,' 'Wilson'	Swan Hill or Wilson Olive
<i>Parkinsonia aculeata</i>	Mexican Palo Verde
<i>Parkinsonia florida</i>	Blue Palo Verde
<i>Parkinsonia microphylla</i>	Foothills Palo Verde
<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde
<i>Parkinsonia</i> x 'Sonoran Emerald'	Sonoran Emerald Palo Verde
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Pinus eldarica</i>	Mondell/Afghan Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus pinea</i>	Stone Pine
<i>Pinus roxburghii</i>	Chir Pine
<i>Pistachia chinensis</i>	Chinese Pistache
<i>Pistachia chinensis</i> 'Red Push'	Red Push Pistache
<i>Pistachia lentiscus</i>	Mastic Tree
<i>Pittoposrum angustifolium</i> (= <i>P. phylliraeoides</i>)	Willow Pittosporum
<i>Platanus acerifolia</i>	London Plane Tree, Sycamore
<i>Platanus mexicanum</i>	Mexican Sycamore
<i>Platanus wrightii</i>	Arizona Sycamore
<i>Podocarpus macrophyllus</i>	Yew Pine
<i>Prosopis alba</i>	Argentine Mesquite
var. 'Colorado'	Colorado Mesquite
var. 'Cooperi'	Thornless Argentine Mesquite
<i>Prosopis chilensis</i>	Chilean Mesquite
var. 'Thornless' or 'Arizona'	Thornless Chilean Mesquite
<i>Prosopis glandulosa glandulosa</i>	Texas Honey Mesquite
var. 'Maverick'	Thornless Honey Mesquite
<i>Prosopis glandulosa torreyana</i>	Western Honey Mesquite
<i>Prosopis pubescens</i>	Screwbean Mesquite
<i>Prosopis velutina</i> (= <i>juliflora</i>)	Native/Velvet Mesquite
<i>Prosopis</i> x 'Phoenix'	Thornless Hybrid Mesquite
<i>Prosopis</i> x 'Rio Salado'	Thornless Hybrid Mesquite
<i>Pyrus calleryana</i>	Ornamental Pear
<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear
<i>Quercus buckleyi</i>	Texas Red Oak
<i>Quercus buckleyi</i> 'Red Rock'	Red Rock Oak
<i>Quercus fusiformis</i>	Escarpment Oak
<i>Quercus ilex</i>	Holly Oak
<i>Quercus lobata</i>	Valley Oak
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus muhlenbergia</i>	Chinquapin Oak

Botanical Name	Common Name
Trees	
<i>Quercus shumardii</i>	Shumard Oak
<i>Quercus suber</i>	Cork Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Q. v. 'Cathedral'</i>	Cathedral Live Oak
<i>Q. v. 'Heritage'</i>	Heritage Live Oak
<i>Q. v. 'High Rise'</i>	High Rise Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Rhus lanceolata</i>	Prairie/Flameleaf Sumac
<i>Robinia pseudoacacia</i>	Black Locust
<i>Robinia x ambigua</i>	Idaho Locust
<i>Robinia x ambigua 'Purple Robe'</i>	Purple Robe Locust
<i>Sambucus nigra ssp. cerulea</i>	Blue Elderberry
<i>Schinus molle</i>	California Pepper Tree
<i>Sophora japonica</i>	Japanese Pagoda Tree
<i>Sophora secundiflora</i>	Texas Mountain Laurel
<i>S.s. v. 'Silver Peso' & 'Sierra Silver'</i>	Silver Mountain Laurel
<i>Trachycarpus fortunei</i>	Windmill Palm
<i>Ulmus parvifolia</i>	Lacebark Elm
<i>Ungnadia speciosa</i>	Mexican Buckeye
<i>Vitex agnus-castus</i>	Chaste Tree
<i>Washingtonia filifera</i>	California Fan Palm
<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Xylosma congestum</i>	Xylosma
<i>Zelkova serrata</i>	Japanese/Sawleaf Zelkova
<i>Ziziphus jujuba</i>	Chinese Date/Jujube
LIMITED USE AND FRUIT TREES (NOT APPROPRIATE IN ALL LOCATIONS)	
<i>Albizia julibrissin</i>	Mimosa/Silk Tree
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Citrus sp.</i>	Citrus Tree
<i>Ficus carica</i>	Fig Tree
<i>Ligustrum japonicum</i>	Waxleaf/Japanese Privet
<i>Ligustrum lucidum</i>	Glossy Privet
<i>Lysiloma watsonii</i>	Fern of the Desert
<i>Magnolia grandiflora 'Little Gem'</i>	Southern/Little Gem Magnolia
<i>Malus sp.</i>	Apple Tree
<i>Paulownia tomentosa</i>	Sapphire Dragon Tree
<i>Pinus thunbergiana</i>	Japanese Black Pine
<i>Prunus sp. (dwarf)</i>	Dwarf Fruit Trees
<i>Prunus caroliniana</i>	Carolina Laurel Cherry
<i>Prunus cerasifera</i>	Purple Leaf Plum
<i>Prunus dulcis</i>	Almond Tree
<i>Prunus mume</i>	Japanese Flowering Apricot
<i>Punica sp.</i>	Pomegranate

Botanical Name	Common Name
Shrubs	
<i>Abelia x grandiflora</i>	Glossy Abelia
<i>Abutilon palmeri</i>	Velvet-leaf Mallow, Superstition Mallow
<i>Acacia berlandieri</i>	Berlandier Acacia, Guajillo
<i>Acacia craspedocarpa</i>	Leatherleaf Acacia, Waxleaf A.
<i>Acacia cultriformis</i>	Knifeleaf Acacia, Knife Acacia
<i>Acacia redolens</i>	Creeping Acacia, Prostrate Acacia
<i>Acacia rigidula</i>	Blackbrush Acacia
<i>Alyogne huegelii</i>	Blue Hibiscus
<i>Ambrosia dumosa</i>	White Bursage, Burrobush
<i>Ambrosia eriocentra</i>	Wooly Bursage
<i>Anisacanthus quadrifidus-wrightii</i> 'Mexican Flame'	Mexican Flame
<i>Anisodonteia hypomandarum</i>	Pink Desert Hibiscus, African Mallow
<i>Artemisia filifolia</i>	Sand Sage
<i>Artemisia tridentata</i>	Big Sage Brush
<i>Asclepias subulata</i>	Desert Milkweed
<i>Atriplex canescens</i>	Four-Wing Saltbush
<i>Atriplex confertifolia</i>	Shadscale
<i>Atriplex hymenelytra</i>	Saltbush, Desert Holly
<i>Atriplex lentiformis</i>	Quailbush, Big Saltbush
<i>Atriplex lentiformis breweri</i>	Brewer's Saltbush, Quail Bush
<i>Atriplex polycarpa</i>	Desert Saltbush
<i>Baccharis sarothroides</i>	Desert Broom, Coyote Bush
<i>Baccharis x 'Centennial'</i> (female hybrid)	Centennial Broom
<i>Baccharis x 'Starn'</i> (male hybrid)	Thompson Broom
<i>Bebbia juncea</i>	Sweet Bush
<i>Berberis fremontii</i>	Fremont's Barberry
<i>Berberis thunbergii</i>	Japanese Barberry
<i>Buddleja davidii</i>	Butterfly Bush
<i>Buddleja marrubifolia</i>	Wooly Butterfly Bush
<i>Buddleja utahensis</i>	Utah Butterfly Bush
<i>Buxus microphylla</i> 'Japonica'	Japanese Boxwood
<i>Caesalpinia gilliesii</i>	Yellow Bird of Paradise
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Calliandra eriophylla</i>	Pink Fairy Duster
<i>Callistemon citrinus</i>	Bottlebrush, Lemon Bottlebrush
<i>Callistemon citrinus</i> 'Nana'	Dwarf Bottlebrush
<i>Caryopteris x clandonensis</i> 'Dark Knight'	Blue Mist Spirea
<i>Chamaebatiaria millefolium</i>	Fern Bush, Desert Sweet
<i>Chrysactinia mexicana</i>	Damianta

Botanical Name	Common Name
Shrubs	
<i>Chrysothamnus viscidiflorus</i>	Yellow Rabbit Brush, Green Rabbit Brush
<i>Cistus hybridus</i>	White Rockrose
<i>Cistus purpureus</i>	Purple Rock Rose, Orchid Rockrose
<i>Coleogyne ramosissima</i>	Blackbrush
<i>Cordia parvifolia</i>	Little Leaf Cordia
<i>Cotoneaster congestus</i>	Pyrenees Cotoneaster
<i>Cotoneaster glaucophyllus</i>	Gray-Leaf Cotoneaster
<i>Cotoneaster lacteus</i>	Red Clusterberry
<i>Cotoneaster microphyllus</i>	Rockspray
<i>Dalea bicolor</i> 'argyrea'	Silver Dalea
<i>Dalea frutescens</i>	Black Dalea
<i>Dalea pulchra</i>	Pink Indigo Bush
<i>Dodonaea viscosa</i>	Purple Hopseed Bush
<i>Duranta erecta</i> 'Sweet Memory'	Golden Dewdrop, Sky Flower
<i>Elaeagnus pungens</i>	Silverberry
<i>Elaeagnus x ebbingei</i>	Ebbing's Silverberry
<i>Encelia farinosa</i>	Brittlebush
<i>Encelia virginensis</i>	Virgin River Brittlebush
<i>Ephedra nevadensis</i>	Nevada Jointfir, Nevada Mormon Tea
<i>Ephedra viridis</i>	Mormon Tea
<i>Eremophila decipiens</i>	Slender Fuchsia
<i>Eremophila laanii</i> 'Pink Beauty'	Pink Beauty Emu Bush
<i>Eremophila glabra</i> 'Murchinson River'	Fire and Ice Emu Bush
<i>Eremophila maculata</i>	Spotted Emu Bush
<i>Eremophila maculata</i> 'Valentine'	Valentine Emu Bush
<i>Eremophila maculata</i> 'Winter Gold'	Winter Gold Emu Bush
<i>Eremophila racemosa</i>	Easter Egg Eremophila
<i>Eremophila</i> x 'Summertime Blue' (<i>polyclada</i> x <i>divaricata</i>)	Summertime Blue Emu Bush
<i>Eremophila</i> sp.	Eremophila, Emu Bush
<i>Ericameria cuneata</i>	Cliff Goldenbush
<i>Ericameria laricifolia</i>	Turpentine Bush
<i>Eriodictyon angustifolium</i>	Yerba Santa
<i>Eriogonum corymbosum</i> var. <i>nilesii</i>	Las Vegas Valley Buckwheat
<i>Eriogonum fasciculatum</i>	Wild Buckwheat, California Buckwheat
<i>Eriogonum</i> sp.	Buckwheat
<i>Euonymus japonica</i>	Evergreen Euonymus
<i>Euonymus japonica</i> 'Aureo-Variegata'	Gold Spot Euonymus
<i>Euonymus japonica</i> 'Microphylla'	Box-leaf Euonymus
<i>Euonymus japonica</i> 'Silver King'	Silver King Euonymus
<i>Fallugia paradoxa</i>	Apache Plume

Botanical Name	Common Name
Shrubs	
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Forestiera pubescens (neomexicana)</i>	Desert Olive, New Mexico Privet
<i>Fraxinus greggii</i>	Little Leaf Ash
<i>Genista tinctoria</i>	Dyer's Greenwood
<i>Gutierrezia sarothrae</i>	Snakeweed
<i>Juniperus chinensis</i> 'Blue Point'	Blue Point Juniper
<i>Juniperus chinensis</i> 'Spartan'	Spartan Chinese Juniper
<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper
<i>Juniperus chinensis</i> 'Torulosa'	Hollywood Twisted Juniper
<i>Juniperus sabina</i> 'Tamariscifolia'	Tam Juniper
<i>Juniperus scopulorum</i> 'Gray Gleam'	Gray Gleam Juniper
<i>Juniperus</i> sp.	Juniper
<i>Justicia californica</i>	California Justicia, Chuparosa
<i>Justicia candicans</i>	Red Justicia
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Keckellia antirrhinoides</i>	Yellow Snapdragon Bush
<i>Krascheninnikovia lanata</i>	Winterfat
<i>Lantana camara</i>	Bush Lantana
<i>Lantana camara</i> 'Radiation'	Radiation Lantana
<i>Larrea tridentata</i>	Creosote Bush
<i>Leucophyllum candidum</i> 'Silver Cloud'	Silver Cloud Texas Ranger
<i>Leucophyllum candidum</i> 'Thunder Cloud'	Thunder Cloud Texas Ranger
<i>Leucophyllum frutescens</i>	Texas Ranger, Texas Sage, Cenizo
<i>Leucophyllum frutescens</i> 'Compacta'	Compact Texas Ranger
<i>Leucophyllum frutescens</i> 'Green Cloud'	Green Cloud Texas Ranger
<i>Leucophyllum frutescens</i> 'White Cloud'	White Cloud Texas Ranger
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy'	Lynn's Legacy Texas Ranger
<i>Leucophyllum langmaniae</i> 'Rio Bravo'	Rio Bravo Texas Ranger
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage
<i>Leucophyllum pruinum</i> 'Sierra Bouquet'	Sierra Bouquet Texas Ranger
<i>Leucophyllum revolutum</i> 'Houdini'	Houdini Texas Ranger
<i>Leucophyllum zygophyllum</i> 'Cimarron'	Blue Texas Ranger, Cimarron Ranger
<i>Leucophyllum</i> x 'Rain Cloud'	Rain Cloud Texas Ranger
<i>Lycium andersonii</i>	Wolf Berry
<i>Lycium cooperi</i>	Cooper's Wolfberry
<i>Lycium pallidum</i> var. <i>oligospermum</i>	Pale Wolfberry
<i>Malpighia glabra</i> 'Mariquita'	Barbados Cherry
<i>Myrtus communis</i>	Classic Myrtle
<i>Myrtus communis boetica</i>	Twisted Myrtle
<i>Myrtus communis</i> 'Compacta'	Compact Myrtle
<i>Nerium oleander</i>	Oleander

Botanical Name	Common Name
Shrubs	
<i>Nerium oleander</i> 'Petite'	Dwarf Oleander
<i>Phlomis fruticosa</i>	Shrubby Jerusalem Sage
<i>Phlomis lanata</i>	Jerusalem Sage
<i>Plumbago auriculata</i>	Cape Plumbago
<i>Poliomintha maderensis</i>	Lavender Spice, Mexican Oregano
<i>Prunus fasciculata</i>	Desert Almond
<i>Psoralea fremontii</i>	Indigo Bush
<i>Psoralea polydenius</i>	Nevada Smokebush
<i>Punica granatum</i> 'Nana'	Dwarf Pomegranate
<i>Purshia mexicana</i>	Mexican Cliffrose
<i>Purshia stansburiana</i> (=Cowania)	Cliff Rose
<i>Pyracantha</i> sp.	Pyracantha, Firethorn
<i>Quercus turbinella</i>	Scrub Live Oak
<i>Rhus microphylla</i>	Littleleaf Sumac
<i>Rhus ovata</i>	Sugar Bush
<i>Rhus trilobata</i>	Squaw Bush / Skunk Bush
<i>Rhus virens</i>	Evergreen Sumac
<i>Romneya coulteri</i>	Matilija Poppy, Fried Egg Poppy
<i>Rosa</i> sp.	Rose
<i>Rosa woodsii</i>	Woods' Rose
<i>Rosmarinus officinalis</i>	Rosemary
<i>Ruellia peninsularis</i>	Desert Ruellia
<i>Russelia equisetiformis</i>	Coral Fountain
<i>Salazaria mexicana</i>	Bladdersage
<i>Salvia chamaedryoides</i>	Mexican Blue Sage
<i>Salvia clevelandii</i>	Chaparral Sage
<i>Salvia coccinea</i>	Scarlet Sage
<i>Salvia dorrii</i>	Purple Sage, Desert Sage
<i>Salvia greggii</i>	Autumn Sage
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Salvia microphylla</i> 'Sierra Madre'	Sierra Madre Sage
<i>Salvia mohavensis</i>	Mojave Sage
<i>Salvia</i> sp.	Sage
<i>Sambucus mexicana</i>	Mexican Elderberry
<i>Santolina chamaecyparissus</i>	Lavender Cotton, Gray Santolina
<i>Santolina rosmarinifolia</i> (=S. virens)	Green Lavender Cotton, Green Santolina
<i>Senna armata</i> (=Cassia)	Spiny Senna
<i>Senna artemisioides</i> (=Cassia)	Feathery Senna, Feathery Cassia
<i>Senna lindheimeriana</i> (=Cassia)	Velvet-leaf Senna
<i>Senna nemophila</i> (=Cassia)	Desert Senna, Desert Cassia
<i>Senna phyllodinea</i> (=Cassia)	Silvery Senna, Silver Leaf Cassia

Botanical Name	Common Name
Shrubs	
<i>Senna wislizenii</i> (=Cassia)	Shrubby Senna, Shrubby Cassia
<i>Simmondsia chinensis</i>	Jojoba
<i>Simmondsia chinensis</i> 'Vista'	Compact Jojoba
<i>Sophora arizonica</i>	Arizona Mescal Bean
<i>Tecoma stans</i>	Yellow Trumpet Flower, Yellow Bells
<i>Tecoma</i> x 'Orange Jubilee'	'Orange Jubilee' Tecoma, Orange Bells
<i>Tecoma</i> x 'Sunrise' TM	'Sunrise' Tecoma
<i>Teucrium chamaedrys</i>	Germander
<i>Thamnosma montana</i>	Turpentine Broom
<i>Vauquelinia californica</i>	Arizona Rosewood
<i>Vauquelinia corymbosa</i> var. <i>heterodon</i>	Narrowleaf Rosewood
<i>Wedelia texana</i> 'Devil's River' (= <i>Zexmenia hispida</i>)	Devil's River, Orange Daisy
<i>Xylosma congestum</i>	Xylosma
<i>Xylosma congestum</i> 'Compacta'	Dwarf Xylosma
<i>Ziziphus obtusifolia</i>	Greythorn

Botanical Name	Common Name
Groundcovers	
<i>Abronia villosa</i>	Desert Sand Verbena
<i>Acacia redolens</i> 'Desert Carpet'	Desert Carpet Creeping Acacia
<i>Acalypha monostachys</i>	Raspberry Fuzzies
<i>Aptenia cordifolia</i>	Hearts and Flowers, Red Apple Ice Plant
<i>Asteriscus maritimus</i>	Gold Coin Daisy
<i>Baccharis pilularis</i> 'Pigeon Point'	Dwarf Coyote Brush
<i>Berberis repens</i> = <i>Mahonia repens</i>	Creeping Oregon Grape
<i>Calylophus hartwegii</i>	Sierra Sundrop
<i>Cephalophyllum speciosum</i> 'Red Spike'	Red Spike Iceplant
<i>Cerastium tomentosum</i>	Snow-in-Summer
<i>Conoclinium greggii</i> 'Boothill' (= <i>Eupatorium</i>)	Boothill Eupatorium
<i>Convolvulus cneorum</i>	Bush Morning Glory
<i>Convolvulus mauritanicus</i>	Ground Morning Glory
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Dalea capitata</i> 'Sierra Gold'	Sierra Gold Dalea
<i>Dalea greggii</i>	Prostrate Indigo Bush
<i>Dichondra argentea</i> 'Silver Falls'	Silver Dichondra, Kidneyweed
<i>Dichondra micrantha</i>	Green Dichondra
<i>Drosanthemum cooperi</i>	Purple Iceplant
<i>Euonymus fortunei</i> 'Coloratus'	Purple-leaf Wintercreeper
<i>Euphorbia rigida</i>	Spurge, Gopher Plant

Botanical Name	Common Name
Groundcovers	
<i>Gazania rigens</i>	Gazania, Treasure Flower
<i>Glandularia gooddingii</i> (=Verbena)	Goodding Verbena
<i>Glandularia peruviana</i> (=Verbena)	Peruvian Verbena
<i>Glandularia pulchella</i> (= Verbena)	Moss Verbena
<i>Glandularia tenera</i> (=Verbena)	Rock Verbena
<i>Juniperus chinensis procumbens</i>	Japanese Garden Juniper
<i>Juniperus conferta</i>	Shore Juniper
<i>Juniperus horizontalis</i> 'Prince of Wales'	Prince of Wales Juniper
<i>Juniperus horizontalis</i> 'Wiltonii'	Blue Carpet Juniper
<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper
<i>Lantana montevidensis</i>	Trailing Lantana
<i>Malephora crocea</i>	Gray Ice Plant, Coppery Mesemb
<i>Malephora lutea</i>	Rocky Point Ice Plant
<i>Mirabilis multiflora</i>	Four O'Clock
<i>Muehlenbeckia axillaris</i>	Creeping Wire Vine
<i>Myoporum parvifolium</i>	Prostrate Myoporum
<i>Pyracantha fortuneana</i> 'Santa Cruz'	Santa Cruz Pyracantha, Firethorn
<i>Rosmarinus officinalis</i> 'prostratus'	Prostrate Rosemary
<i>Sedum spectabile</i>	Stonecrop
<i>Sphaeralcea grossulariifolia</i>	Goosefoot Mallow
<i>Stachys coccinea</i>	Texas Betony, Scarlet Hedge Nettle
<i>Tradescantia pallida</i> 'Purpurea'	Purple Heart, Wandering Jew
<i>Verbena rigida</i>	Sandpaper Verbena, Coarse Verbena
<i>Vinca minor</i>	Dwarf Periwinkle

Botanical Name	Common Name
Vines	
<i>Antigonon leptopus</i>	Queen's Wreath, Coral Vine
<i>Callaeum lilacaena</i> (=Mascagnia)	Orchid Vine
<i>Campsis</i> sp.	Trumpet Creeper
<i>Cissus trifoliata</i> var. <i>incisa</i>	Grape Ivy, Arizona Grape Ivy
<i>Clematis ligusticifolia</i>	Western Virgin's Bower
<i>Ficus pumila</i>	Creeping Fig
<i>Gelsemium sempervirens</i>	Carolina Jasmine
<i>Hardenbergia violacea</i>	Happy Wanderer, Lilac Vine
<i>Jasminum mesnyi</i>	Primrose Jasmine
<i>Lonicera japonica</i> 'Halliana'	Hall's / Japanese Honeysuckle
<i>Macfadyena unguis-cati</i>	Cat's Claw Vine
<i>Maurandya antirrhiniflora</i>	Snapdragon Vine

Botanical Name	Common Name
Vines	
<i>Parthenocissus</i> sp. 'Hacienda Creeper'	Hacienda Creeper
<i>Polygonum aubertii</i>	Silver Lace Vine
<i>Rosa banksiae</i>	Lady Bank's Rose
<i>Solanum jasminoides</i>	Potato Vine
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Vitis arizonica</i>	Canyon Grape
<i>Vitis californica</i>	California Grape
<i>Vitis californica</i> 'Roger's Red'	Rogers Red Grape
<i>Vitis</i> sp.	Grape

Botanical Name	Common Name
Agaves, Cacti, Succulents, and Yuccas	
<i>Agave americana</i>	Century Plant
<i>Agave americana</i> var. <i>aurea-marginata</i>	Yellow Margin Century Plant
<i>Agave americana</i> var. <i>medio-picta</i>	Medio Picta Century Plant
<i>Agave angustifolia</i> var. <i>marginata</i>	Variegated Agave
<i>Agave bovicornuta</i>	Cow's Horn Agave
<i>Agave bracteosa</i>	Green Spider Agave
<i>Agave colorata</i>	Mescal Ceniza
<i>Agave desmettiana</i>	Smooth Agave
<i>Agave filifera</i>	Thread-leaf Agave, Dark Green Agave
<i>Agave geminiflora</i>	Twin-Flowered Agave
<i>Agave havardiana</i>	Havard Agave
<i>Agave montana</i>	Mountain Agave
<i>Agave multifilifera</i>	Chahuíqui
<i>Agave murpheyi</i>	Murphey's Agave
<i>Agave ocahui</i>	Agave Ocahui
<i>Agave ovatifolia</i>	Whale's Tounge Agave
<i>Agave palmeri</i>	Palmer's Agave
<i>Agave parrasana</i>	Cabbage Head Agave
<i>Agave parryi</i>	Parry's Agave
<i>Agave parryi</i> var. <i>huachuensis</i>	Huachuca Agave
<i>Agave parryi</i> var. <i>neomexicana</i>	New Mexico Agave
<i>Agave parryi</i> var. <i>truncata</i>	Artichoke Agave
<i>Agave salmiana</i> ssp. <i>ferox</i>	Ferox Agave
<i>Agave scabra</i>	Rough-Leaved Agave
<i>Agave schidigera</i> 'Durango Delight' TM	Durango Delight Agave
<i>Agave utahensis</i> ssp. <i>nevadensis</i>	Nevada Agave
<i>Agave victoriae-reginae</i>	Queen Victoria Agave

Botanical Name	Common Name
Agaves, Cacti, Succulents, and Yuccas	
<i>Agave vilmoriniana</i>	Octopus Agave
<i>Agave weberi</i>	Weber Agave
<i>Aloe arborescens</i>	Tree Aloe
<i>Aloe barbadensis</i>	Aloe Vera
<i>Aloe ferox</i>	Tap Aloe, Cape Aloe
<i>Aloe nobilius</i>	Gold Tooth Aloe
<i>Aloe saponaria</i>	African Aloe
<i>Aloe</i> x 'Blue Elf'	Blue Elf Aloe
<i>Aloe</i> x <i>spinosissima</i>	Spider Aloe
<i>Carnegiea gigantea</i>	Saguaro (spear)
<i>Carnegiea gigantea</i>	Saguaro (with arms)
<i>Cereus hildmannianus</i> (= <i>peruvianus</i>)	Peruvian Apple
<i>Cycas revoluta</i>	Japanese Sago Palm
<i>Cylindropuntia acanthocarpa</i> (= <i>Opuntia</i>)	Buckhorn Cholla
<i>Cylindropuntia arbuscula</i> (= <i>Opuntia</i>)	Pencil Cholla
<i>Cylindropuntia bigelovii</i> (= <i>Opuntia</i>)	Teddy Bear Cholla
<i>Cylindropuntia echinocarpa</i> (= <i>Opuntia</i>)	Silver Cholla
<i>Cylindropuntia fulgida</i> (= <i>Opuntia</i>)	Chain-Fruit Cholla, Jumping Cactus
<i>Cylindropuntia ramosissima</i> (= <i>Opuntia</i>)	Diamond Cholla
<i>Cylindropuntia versicolor</i> (= <i>Opuntia</i>)	Staghorn Cholla
<i>Dasyllirion acrotriche</i>	Green Desert Spoon
<i>Dasyllirion longissimum</i>	Stick Palm, Mexican Grass Tree
<i>Dasyllirion wheeleri</i>	Desert Spoon
<i>Echinocactus grusonii</i>	Golden Barrel
<i>Echinocactus polycephalus</i>	Cottontop Cactus
<i>Echinocereus engelmannii</i>	Strawberry Hedgehog
<i>Echinocereus triglochidiatus</i>	Claret Cup
<i>Escobaria vivipara</i> (= <i>Coryphantha</i>)	Common Pincushion
<i>Escobaria vivipara</i> var. <i>bisbeena</i>	Beehive Cactus
<i>Ferocactus acanthodes</i> (= <i>Cylindraceus</i>)	Compass Barrel Cactus
<i>Ferocactus wislizenii</i>	Fishhook Barrel Cactus
<i>Fouquieria splendens</i>	Ocotillo
<i>Hesperaloe campanulata</i>	Bell-flowered Hesperaloe
<i>Hesperaloe funifera</i>	Giant Sword Flower
<i>Hesperaloe nocturna</i>	Night Blooming Yucca
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Hesperaloe parviflora</i> 'Yellow'	Yellow Yucca
<i>Mammillaria tetrancistra</i>	Pincushion / Fishhook Cactus
<i>Nolina bigelovii</i>	Bigelow's Nolina
<i>Nolina matapensis</i>	Treebear Grass
<i>Nolina microcarpa</i>	Bear Grass

Botanical Name	Common Name
Agaves, Cacti, Succulents, and Yuccas	
<i>Nolina nelsoni</i>	Blue Nolina
<i>Nolina texana</i>	Texas Bear Grass, Devil's Shoestring
<i>Opuntia basilaris</i>	Beavertail Cactus
<i>Opuntia chlorotica</i>	Pancake Prickly Pear
<i>Opuntia engelmannii</i>	Englemann's Prickly Pear
<i>Opuntia engelmannii acicularis</i>	Bristly Prickly Pear
<i>Opuntia engelmannii linguiformis</i>	Cow's Tongue, Angel's Wing Cactus
<i>Opuntia erinacea 'erinacea'</i>	Old Man Prickly Pear
<i>Opuntia ficus-indica</i>	Indian Fig Cactus
<i>Opuntia macrocentra</i>	Black Spine Prickly Pear
<i>Opuntia microdasys</i>	Bunny Ears
<i>Opuntia phaeacantha</i>	Mojave Prickly Pear
<i>Opuntia paraguayensis</i>	Paraguay Cactus, Orange Tuna Cactus
<i>Opuntia rivioreana</i>	Orange Tuna Cactus
<i>Opuntia robusta</i>	Silver Dollar Cactus, Giant Prickly Pear
<i>Opuntia santa rita 'Tubac' (= O. violacea 'Santa Rita')</i>	Purple Prickly Pear, Purple Pancake
<i>Opuntia turpinii (= Tephrocactus)</i>	Pine Cone Prickly Pear, Paper Spine Cactus
<i>Oreocereus celsianus</i>	Old Man Of the Andes
<i>Tephrocactus articulatus</i>	Paper Spine Cactus, Pine Cone Cactus
<i>Trichocereus pachanoi (= Echinopsis)</i>	San Pedro Cactus
<i>Trichocereus spachianus (= Echinopsis)</i>	Golden Torch Cactus
<i>Trichocereus sp (= Echinopsis)</i>	Cacti
<i>Yucca aloifolia</i>	Spanish Bayonet
<i>Yucca australis</i>	Australis Yucca
<i>Yucca baccata</i>	Banana Yucca
<i>Yucca brevifolia</i>	Joshua Tree
<i>Yucca constricta</i>	Constricta Yucca
<i>Yucca elata</i>	Soaptree Yucca
<i>Yucca faxoniana</i>	Palm Yucca
<i>Yucca filamentosa</i>	Adam's Needle
<i>Yucca glauca</i>	Soapweed, Narrowleaf Yucca
<i>Yucca gloriosa</i>	Spanish Dagger
<i>Yucca harrimaniae</i>	Harriman's Yucca
<i>Yucca pallida</i>	Pale Leaf Yucca
<i>Yucca recurvifolia</i>	Weeping Yucca, Pendulous Yucca
<i>Yucca rigida</i>	Blue Yucca
<i>Yucca rostrata</i>	Beaked Yucca
<i>Yucca rupicola</i>	Twisted Yucca
<i>Yucca schidigera</i>	Mojave Yucca
<i>Yucca schottii</i>	Mountain Yucca
<i>Yucca thompsoniana</i>	Thompson's Yucca

Botanical Name	Common Name
Agaves, Cacti, Succulents, and Yuccas	
<i>Yucca torreyi</i>	Torrey Yucca
<i>Yucca whipplei</i>	Our Lord's Candle, Chaparral Yucca

Botanical Name	Common Name
Ornamental Grasses	
<i>Achnatherum hymenoides</i> (=Oryzopsis)	Indian Ricegrass
<i>Achnatherum speciosum</i>	Desert Needlegrass
<i>Aristida purpurea</i>	Purple Threeawn
<i>Bouteloua curtipendula</i>	Side-Oats Grama
<i>Bouteloua gracilis</i>	Blue Grama Grass
<i>Calamagrostis x acutifolia</i>	Feather Reed Grass
<i>Cortaderia selloana</i>	Pampas Grass
<i>Cortaderia selloana</i> 'Pumila'	Dwarf Pampas Grass
<i>Festuca ovina</i>	Blue Fescue
<i>Festuca ovina</i> var. <i>brachyphylla</i>	Sheep Fescue
<i>Helictotrichon sempervirens</i>	Blue Oat Grass
<i>Miscanthus sinensis</i>	Maiden Grass, Japanese Silver Grass
<i>Miscanthus sinensis</i> 'Variegata'	Variegated Maiden Grass
<i>Muhlenbergia capillaris</i> 'Regal Mist'	Regal Mist Muhly Grass
<i>Muhlenbergia dumosa</i>	Bamboo Muhly, Fairy Bamboo
<i>Muhlenbergia emersleyi</i> 'El Toro'	Bull Grass
<i>Muhlenbergia lindheimeri</i> 'Autumn Glow'	Autumn Glow
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Muhlenbergia rigida</i> 'Nashville'	Nashville
<i>Nasella tenuisima</i> (=Stipa tenuisima)	Mexican Feather Grass
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Pennisetum alopecuroides</i>	Black Moudry
<i>Pennisetum setaceum</i> 'Rubrum' 'Cupreum'	Purple Fountain Grass
<i>Phyllostachys aurea</i>	Golden Bamboo
<i>Pleuraphis rigida</i> (= <i>Hilaria rigida</i>)	Big Galleta Grass
<i>Sorghastrum nutans</i>	Indian Grass
<i>Sporobolus airoides</i>	Alkali Sacaton Grass
<i>Stipa gigantea</i>	Giant Feather Grass, Golden Oats

Botanical Name	Common Name
Perennial (small accent areas only)	
<i>Achillea filipendulina</i>	Fern Leaf Yarrow

Botanical Name	Common Name
Perennial (small accent areas only)	
<i>Agapanthus africanus</i>	Lily of the Nile
<i>Amsonia tomentosa</i>	Desert Bluestar
<i>Anemopsis californica</i>	Yerba Mansa
<i>Artemisia ludoviciana</i>	Prairie Sage
<i>Artemisia ludoviciana albula</i> 'Silver King'	Silver King Artemisia
<i>Artemisia</i> x 'Powis Castle'	Powis Castle Wormwood
<i>Artemisia schmidtiana</i> 'Silver Mound'	Angel's Hair, Silver Mound Artemisia
<i>Astragalus preussii</i>	Preuss' Milkvetch
<i>Baileya multiradiata</i>	Desert Marigold
<i>Berlandiera lyrata</i>	Chocolate Flower
<i>Convolvulus tricolor</i>	Dwarf Morning Glory
<i>Coreopsis lanceolata</i>	Sunray
<i>Echinacea purpurea</i>	Purple Coneflower
<i>Enceliopsis argophylla</i>	Silverleaf Sunray
<i>Epilobium canum</i> (= <i>Zauschneria californica</i>)	Hummingbird Flower
<i>Erigeron divergens</i>	Native Fleabane
<i>Erigeron karvinskianus</i>	Santa Barbara Daisy, Mexican Daisy
<i>Eschscholzia californica</i>	California Poppy, Golden Poppy
<i>Gaillardia aristata</i> (= <i>grandiflora</i>)	Blanket Flower
<i>Gaura coccinea</i>	Scarlet Gaura
<i>Gaura lindheimeri</i>	Gaura
<i>Gazania rigida</i>	Gazania
<i>Iberis sempervirens</i>	Evergreen Candytuft
<i>Ipomopsis arizonica</i> = <i>Gilia aggregata</i>	Skyrocket
<i>Kallstroemia grandiflora</i>	Arizona Poppy, Orange Caltrop
<i>Lavandula</i> sp.	Lavender
<i>Lepidium fremontii</i>	Desert Alyssium
<i>Liatris spicata</i>	Gayfeather, Blazing Star
<i>Linum lewisii</i>	Blue Flax
<i>Lippia repens</i>	Lippia
<i>Liriope gigantea</i>	Giant Lily Turf
<i>Liriope muscari</i>	Lily Turf
<i>Lobularia maritima</i>	Sweet Alyssum
<i>Manfreda maculosa</i>	Texas Tuberose, Spice Lily
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Oenothera caespitosa</i>	Angel Wing/White Evening Primrose
<i>Oenothera elata</i> = <i>O. hookeri</i>	Hooker's Evening Primrose
<i>Osteospermum fruticosum</i>	African Trailing Daisy, Freeway Daisy
<i>Penstemon amphotellae</i>	Mexican Blue Penstemon

Botanical Name	Common Name
Perennial (small accent areas only)	
<i>Penstemon baccharifolius</i> 'Del Rio'	Del Rio Penstemon
<i>Penstemon barbatus</i>	Scarlet Bugler, Scarlet Beardtongue
<i>Penstemon bicolor</i>	Pinto Beardtongue
<i>Penstemon bicolor</i> ssp. <i>roseus</i>	Rosy Two-tone Beardtongue
<i>Penstemon eatonii</i>	Firecracker Penstemon
<i>Penstemon palmeri</i>	Scented Penstemon
<i>Penstemon parryi</i>	Parry's Penstemon
<i>Penstemon pseudospectabilis</i>	Canyon Penstemon
<i>Penstemon rostriflorus</i>	Bridge Penstemon
<i>Penstemon strictus</i>	Rocky Mountain Penstemon
<i>Penstemon superbus</i>	Superb Penstemon, Coral Beardtongue
<i>Penstemon</i> sp.	Penstemon
<i>Perovskia atriplicifolia</i>	Russian Sage
<i>Psilostrophe cooperi</i>	Paper Flower
<i>Psilostrophe tagetina</i>	Wooly Paper Flower
<i>Ratibida columnifera</i>	Mexican Hat
<i>Rudbeckia hirta</i>	Black-eyed Susan
<i>Ruellia brittoniana</i>	Wild Petunia
<i>R. b.</i> vars. 'Katie', 'Rosa', 'Blanca'	Dwarf Ruellia
<i>Sphaeralcea ambigua</i>	Globe Mallow
<i>Stanleya pinata</i>	Desert Prince's Plume
<i>Tagetes lemmonii</i>	Mountain Marigold
<i>Tagetes lucida</i>	Mexican Tarragon, Mexican Marigold
<i>Tetraneuris acaulis</i> (= <i>Hymenoxys</i>)	Angelita Daisy
<i>Thymophylla pentachaeta</i> (= <i>Dyssodia</i>)	Golden Dogbane, Golden Dyssodia
<i>Thymophylla tenuiloba</i> (= <i>Dyssodia</i>)	Dahlberg Daisy
<i>Tulbaghia violacea</i>	Society Garlic
<i>Viguiera parishii</i> (<i>deltoidea</i>)	Goldeneye
<i>Xylorhiza tortifolia</i>	Mojave Aster
<i>Zinnia acerosa</i>	Desert Zinnia
<i>Zinnia grandiflora</i>	Prairie Zinnia

	Botanical Name	Common Name
PLANTS WITH SPECIAL NEEDS (NOT SUITABLE FOR ALL LOCATIONS)		
Shrub	<i>Asparagus densiflorus</i> 'Meyers'	Foxtail Fern
Groundcover	<i>Asparagus densiflorus</i> 'Sprengerii'	Asparagus Fern
Shrub	<i>Aspidistra elatior</i>	Cast Iron Plant

	Botanical Name	Common Name
PLANTS WITH SPECIAL NEEDS (NOT SUITABLE FOR ALL LOCATIONS)		
Shrub	<i>Aucuba japonica</i> 'Variegata'	Gold Dust Plant
Shrub	<i>Berberis aquifolium</i> (=Mahonia)	Oregon Grape
Vine	<i>Bougainvillea</i> sp.	Bougainvillea
Perennial	<i>Canna</i> hybrids	Canna
Agave, etc	<i>Cephalocereus senilis</i>	Old Man Cactus
Perennial	<i>Cuphea llavea</i>	Bat-faced Cuphea
Perennial	<i>Dietes bicolor</i>	Fortnight Lily, Evergreen Iris
Perennial	<i>Dietes vegeta</i> (= <i>iridioides</i>)	Butterfly Iris, African Iris
Perennial	<i>Erysimum linifolium</i>	Wallflower
Shrub	<i>Euryops pectinatus</i>	Yellow Bush Daisy, Euryops Daisy
Shrub	<i>Euryops pectinatus</i> 'Viridis'	Green Bush Daisy
Shrub	<i>Fatsia japonica</i>	Japanese Aralia
Shrub	<i>Genista racemosa</i>	Sweet Broom
Vine	<i>Hedera canariensis</i>	Algerian Ivy
Vine	<i>Hedera helix</i>	English Ivy
Perennial	<i>Hemerocallis</i> hybrids	Daylily Hybrids
Shrub	<i>Hibiscus</i> sp.	Hibiscus
	<i>Hyptis emoryi</i>	Desert Lavender
	<i>Ilex altaclarensis</i> 'Wilsonii'	Wilson Holly
	<i>Ilex cornuta</i>	Chinese Holly
	<i>Ilex cornuta</i> 'Burfordii'	Burford Holly
	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly
	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly
	<i>Ilex</i> sp.	Holly
Perennial	<i>Iris</i> sp.	Iris
Vine	<i>Jasminum polyanthum</i>	Pink Jasmine
	<i>Lagerstroemia indica</i> dwarf	Dwarf Crape Myrtle
Shrub	<i>Ligustrum japonicum</i>	Waxleaf Privet, Japanese Privet
Shrub	<i>Ligustrum lucidum</i>	Glossy Privet
Shrub	<i>Nandina domestica</i>	Heavenly Bamboo
Shrub	<i>Nandina domestica</i> 'Nana'	Dwarf Heavenly Bamboo
Vine	<i>Parthenocissus quinquefolia</i>	Virginia Creeper
Vine	<i>Parthenocissus tricuspidata</i>	Boston Ivy, Japanese Creeper
Shrub	<i>Phoenix roebelenii</i>	Pygmy Date Palm
	<i>Phormium</i> sp.	Flax
Shrub	<i>Photinia x fraseri</i>	Redtip Photinia, Fraser's Photinia
Shrub	<i>Pittosporum tobira</i>	Japanese Mock Orange
Shrub	<i>Pittosporum tobira</i> 'Variegata'	Variegated Mock Orange
Shrub	<i>Pittosporum tobira</i> 'Wheeler's Dwarf'	Wheeler's Dwarf Mock Orange

	Botanical Name	Common Name
PLANTS WITH SPECIAL NEEDS (NOT SUITABLE FOR ALL LOCATIONS)		
Shrub	<i>Platycladus orientalis</i>	Oriental Arborvitae
Shrub	<i>Platycladus orientalis</i> 'Aurea Nana'	Golden Arborvitae
Shrub	<i>Podocarpus gracillor</i>	Fern Pine
Shrub	<i>Prunus caroliniana</i> 'Compacta'	Compact Carolina Cherry
Shrub	<i>Rhaphiolepis indica</i>	Indian Hawthorn
Groundcover	<i>Stachys byzantina</i>	Lamb's Ear
Agave, etc	<i>Stenocereus thurberi</i>	Organ Pipe Cactus
Vine	<i>Trachelospermum asiaticum</i>	Asiatic Jasmine
Vine	<i>Trachelospermum jasminoides</i>	Star Jasmine
Shrub	<i>Viburnum</i> sp.	Viburnum
Vine	<i>Wisteria sinensis</i>	Chinese Wisteria
Perennial	<i>Zephyranthes</i> sp.	Fairy Lily, Rain Lily

**NOT RECOMMENDED (See Nevada Department of Agriculture Noxious Weed List for more:
http://agri.state.nv.us/nwac/PLANT_No WeedList.htm)**

	Botanical Name	Common Name
	<i>Oenothera speciosa</i> 'Siskiyou' (=berlandieri)	Mexican Evening Primrose

KYLE CANYON

City of Las Vegas, Nevada
Planning & Development Department

Prepared For:



Prepared By:



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INTRODUCTION

Situated in the northwest Las Vegas valley, Kyle Canyon is designed to provide a graceful transition from the suburban development to its south and east with the more rural setting north and west of the site. In order to achieve this overall goal, a community design approach was developed that provided an underlying basis for design decisions throughout the development process. The Community Design Approach is summarized below:

COMMUNITY DESIGN APPROACH

- Strategic distribution of land uses

The master plan places the more intense uses near the US 95 corridor transitioning to lower density uses further away from the highway, reinforcing the transition from suburban development to the nearby rural environment.

- Provide a strong sense of arrival

The primary entry for the master plan is located on Horse Drive west of US 95, providing a gateway element into Kyle Canyon. The entry will be designed to reinforce the rural character of the area. Other entries leading into the community will feature unifying thematic elements.

- Establish a Community Core focal area

Located at the center of the community is an 11 acre Elementary School site along with three Park sites totaling 13.6 acres. The Elementary School and neighboring open space serve as the “heart” of the community.

- Integration of natural desert environment

The existing desert arroyos have been carefully integrated into the community design further blending proposed development with the natural setting of the area. Other than trails and rest areas, the arroyos will primarily be retained in their existing natural condition. Neighborhood parks that provide for more active recreational uses are placed adjacent to the arroyos in several locations to further reinforce a natural transition from the edges of the arroyos to developed parcels within the master plan

- Edge Conditions

The arroyos are generally adjacent to master planned roadways providing not only an interesting visual experience for residents and visitors on their daily travels, but also serve to buffer the development edges of parcels adjacent to the arroyos.

While the arroyos form a key identifying open space character for the community, they will be augmented by open space corridors areas adjacent to the master planned roadways throughout Kyle Canyon. These corridors will feature enhanced landscape, trails for connectivity, and unifying thematic elements. The site planning concept for individual builder neighborhoods adjacent to these open space corridors will encourage designs that use cul-de-sacs or other elements that open up to the edge condition and provide vehicular or pedestrian connectivity. In addition, the architecture of houses adjacent to development edges must be carefully addressed as well. These requirements are further detailed in the Architectural Guidelines section.

- *Provide strong connectivity throughout the community*

The arroyos described above not only provide visual open space, but also serve as key connectivity elements between and among the various residential neighborhoods and other community amenities, particularly the Community Core Focal Area of the elementary school and adjacent parks. In addition to the arroyos, a network of integrated trails will be provided throughout the community. Builders are encouraged to provide connection points from their parcels to the master planned open space and trail systems.

- *Master Planned Open Space*

All of the open space described above including arroyos, parks, and open space corridors form the Master Planned Open Space within Kyle Canyon. In total, these open spaces have been designed and located to provide significant community benefit and to allow the parcel builders to concentrate on what they do best...build houses. Thus, common open space within an individual neighborhood, though encouraged, is not required. However, in any case, builders should design their neighborhoods to take advantage of the master planned open space adjacent to their parcels by providing pedestrian connections, mini-parks, or other features which celebrate the open space character envisioned for Kyle Canyon.

ARCHITECTURAL DESIGN CRITERIA

The Architectural Design Criteria for the residential neighborhoods of Kyle Canyon ensure that a cohesive community identity is established, achieved and maintained throughout the project. Considering the long-term timeframe for the build-out of the community, the guidelines focus on “goals” rather than “solutions” in order to provide design flexibility as market trends change over time, while providing assurance to public agencies and potential residents that a high quality of design will be maintained throughout the life of the project.

Architectural Styles

The residential architectural styles should be compatible with the Kyle Canyon setting and be built with materials that are well suited to the harsh desert climate of the Las Vegas valley. The styles that are defined within these Design Guidelines have proven to be

compatible with Las Vegas and its desert climate and may be used throughout Kyle Canyon. However, because of the long-term build out of the community, it is not possible to predict specific architectural styles that may be in favor with the home buying public at any certain point in the future nor what technological advances may occur in building material and design. Thus, other architectural styles may be allowed subject to review and approval by the master developer's Design Review Committee (DRC).

Architectural Style	Identifying Characteristics
Spanish Colonial	<ul style="list-style-type: none"> • <i>Low-pitched gable roofs</i> • <i>Red barrel or s-shaped roof tiles</i> • <i>½ round arch elements</i> • <i>Deep window or door recess</i> • <i>Detail elements such as iron, wood-plank shutters, clay (or stucco) vent tiles, ceramic tile, etc.</i>
Craftsman	<ul style="list-style-type: none"> • <i>Low-pitched gable roofs</i> • <i>Flat roof tiles</i> • <i>Projecting eaves</i> • <i>Exposed rafter tails, decorative beams or braces</i> • <i>Front porches</i> • <i>Tapered columns or piers</i> • <i>Accent stone or siding encouraged</i>
European Country	<ul style="list-style-type: none"> • <i>Steeper roof pitch (at least 6:12) on all or portion of the roof</i> • <i>Predominately flat roof tiles</i> • <i>Informal arrangement of building forms</i> • <i>Detail elements such as segmented arch elements, bay windows, turrets, dormers, or reverse arch shutters.</i>
Italianate	<ul style="list-style-type: none"> • <i>Low-pitched hip roofs</i> • <i>Flat, barrel or s-shaped roof tiles</i> • <i>Formal box-like building massing</i> • <i>Projecting eaves with decorative brackets or dentils</i> • <i>Vertically proportioned windows, often arched</i> • <i>Detail elements such as quoins, keystones, shutters, palladian windows</i>
Mediterranean	<ul style="list-style-type: none"> • <i>Low-pitched gable roofs</i> • <i>Red barrel or s-shaped roof tiles</i> • <i>Asymmetrical combination of 1 and 2 story building forms</i> • <i>Entry courtyards</i> • <i>Accentuated tower elements and/or arcades</i> • <i>½ round arch elements at doors and feature windows</i> • <i>Refined decorative detail elements such as, patterned tiles, iron, and plank or panel shutters.</i>
Prairie	<ul style="list-style-type: none"> • <i>Low-pitched hip roofs</i> • <i>Flat roof tiles</i> • <i>Horizontal emphasis in detailing</i>
Southwestern Ranch	<ul style="list-style-type: none"> • <i>Low pitched gable roof forms</i> • <i>Flat roof tiles</i> • <i>Rambling horizontal character</i>

Architectural Style	Identifying Characteristics
	<ul style="list-style-type: none"> • <i>Front porches</i> • <i>Detail elements such as exposed outlookers, rafter tails, z-shutters, brace detail at porch columns, etc.</i>
Tuscan	<ul style="list-style-type: none"> • <i>Mostly low-pitched hip roofs (occasional gable or cross-gable)</i> • <i>Predominantly barrel or s-shaped roof tiles.</i> • <i>Informal arrangement of building forms reflecting rural character.</i> • <i>Medium to darker color schemes</i> • <i>Detail elements such as accent stone, projecting overhead shutters</i>
Andalusian	<ul style="list-style-type: none"> • <i>Low-pitched hip, gable, (or combination) roof forms</i> • <i>Red barrel or s-shaped roof tiles</i> • <i>Use of oversized square stucco columns</i> • <i>Detail elements including pre-cast surrounds, "x" motif on porch balustrades and/or stepped balustrades on exterior stairs, miradors,</i>
Contemporary	<ul style="list-style-type: none"> • <i>Strong use of roof as a design statement, including shed roof forms, flat roofs with parapet, along with gable or hip roof forms</i> • <i>Asymmetrical arrangement of building forms</i> • <i>Bold use of color to accentuate building forms and elements.</i> • <i>Adaptation of traditional design vernaculars, executed with a fresh, contemporary approach</i> • <i>Decorative use of metal or other non-conventional materials, commercial grade windows and doors, riglets and reveals, etc.</i>

Perimeter Edge Conditions

The residential neighborhoods throughout Kyle Canyon will be designed to ensure that visually appealing architecture is located along the perimeter edges of development parcels that are adjacent to master planned roadways, open spaces and other areas subject to public view.

Examples of architectural treatments for residences located along such perimeter edges include, but are not limited to:

- Variety of building massing and forms
- Variation in roof forms
- Architectural treatments and articulation consistent with the front elevation
- Window trim consistent with the front elevation on all windows
- Offset wall planes with a corresponding change in roof element.
- Principal window treatments
- Enhancements such as a patio cover, 2nd story deck or balcony providing vertical or horizontal plane breaks to the façade
- Varying rear setbacks

Single Family Neighborhoods

In addition to the treatment of the perimeter edge conditions described above, the following guidelines ensure a high level of design quality is achieved in the architectural design of residences, resulting in pleasant neighborhood environments for residents and visitors throughout Kyle Canyon.

Building Facades

Building Form

- Variety in building forms is encouraged to provide diversity and visual interest to the neighborhood street scene. The following recommendations are encouraged when designing residential structures:
 - Articulation of wall planes
 - Projections and recesses to provide shadow and depth
 - Simple bold forms
 - Combinations of one and two story forms (and 3-story forms, where allowed)
- Building wall planes, particularly on the front elevation, should be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony.

Building Materials and Colors

- Color and material blocking should be incorporated into the preliminary architectural design so that thoughtful color use is integrated with the architecture. Color palette and application should be consistent with the architectural style of the residence.
- All surface treatments or materials should be designed to appear as an integral part of the design, and not merely applied. All materials should wrap columns, porches, or balconies in their entirety.
- Adjacent houses and facing houses across a street should use different color schemes.

Roofs

Roof Form and Slope

- Roof treatments, including overhangs, should be consistent with the architectural style of the dwelling.
- Variety of roof design and treatment is encouraged to provide visual interest to the neighborhood roofscape throughout Kyle Canyon, including the use of gable, cross-gable, hip, shed, or a combination of these roof forms.

- Likewise, variety in roof lines is encouraged to avoid a common roof line along neighborhood streets. Variation of ridge heights, roof forms, and direction of gables is encouraged on adjacent residences.
- Repetitious gable ends framed side to side on rear elevations are discouraged along perimeter edges of residential neighborhoods.
- Roof slopes should be consistent with the architectural style of the dwelling.

Roof Materials

- A variety of roof materials is encouraged throughout the neighborhoods of Kyle Canyon in order to avoid a monotonous roofscape appearance. Roof materials may include barrel shaped clay or concrete tiles, flat clay or concrete tiles and shakes, and slate.
- Roof materials should be compatible with the architectural style of the residence.
- Roof materials should have a matte finish to minimize glare.
- Standing seam metal roofs are permitted as an architectural accent element.
- Permitted Materials
 - Clay or Concrete Barrel Tiles
 - Concrete S-tiles
 - Clay or Concrete Flat Tiles
 - Clay or Concrete Shakes
 - Slate
 - Standing Seam Metal
- Prohibited Materials
 - Wood Shake
 - Fiberglass Shingles
 - Simulated Tile including fiberglass or metal
 - Rolled roofing material
- Solar panels should be integrated into the roof design, flush with the roof slope. Frames should be colored to complement the roof. Mill finish aluminum frames are not allowed. Support solar equipment should be enclosed and screened from view.

Garages

The overall design of the front façade of a residence should de-emphasize the appearance of garage doors that face the street. Many techniques may be used to achieve this goal, examples of which include, but are not limited to:

- **Architectural Elements Forward of the Garage Plane**

Architectural elements that are situated forward of the plane of the garage provide visual interest to the street scene while minimizing the appearance of the garage door on the street scene. Examples of such elements include porches, portal elements and courtyard walls.

- **Articulation Above the Garage**

Architectural elements located over the garage can effectively draw attention away from the garage door and provide strong visual articulation to the front façade. Second floor elements that project forward of the garage plane are particularly effective as they cast a strong shadow across the garage door, minimizing its appearance on the street scene. Examples of such articulation include principal windows with thickened walls and detailing appropriate to the architectural style, balconies, sun decks and miradors (roofed outdoor rooms located on the 2nd floor)

- **Articulation in Front of Garage**

The use of articulation elements such as free-standing arbor directly in front of the garage door, or an attached trellis element over the entire width of the garage door provide visual interest to the street scene while de-emphasizing the appearance of the garage door.

- **Living Spaces Forward of the Garage**

Where product width allows, “architecture forward” allows the active living spaces of the house to be the predominate feature of the front elevation, while the garage is setback further from the street.

- **Deep Recesses**

Deep garage door recesses into surrounding wall planes result in strong shadows being cast across the garage doors, de-emphasizing their appearance on the street scene. Second floor elements above are either cantilevered or supported with piers extending to ground plane.

- **Extended Roof Elements**

The use of extended roof elements provides the opportunity to emphasize the architectural design of the home while minimizing the appearance of the garage on the street scene. For example, when a porch is provided on the front elevation, extending its single story roof line across the entire driveway width in front of the garage creates a deep shadow on the garage door, effectively allowing the garage door to “disappear” into the shadow. Similarly, a vehicular porte-cochere element provides additional shade to the front of the house and the garage is generally behind the front façade of the home.

- Garage doors should be compatible with the architectural style of the residence. In order to avoid the impact of garage doors, it is encouraged that they be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.
- Decorative window lites, when used, should be appropriate to the architectural style of the residence. Sunburst or wagon-wheel window shapes are not allowed.

Window Openings

- The style of windows, including muntin patterns, should be compatible with the architectural style of the residence.
- **Principal Windows**

At least one principal window should be used on front elevations, such as:

- A prominent window recessed from the surrounding wall plane.
 - An oversized window or window grouping with trim consistent with the architectural style.
 - An enhanced architectural surround that accentuates a prominent feature window
 - A bay window with detailing appropriate to the architectural style of the residence.
 - A deep pot-shelf with corresponding roof element and corbels.
 - An overhead trellis element projecting forward of the wall plane and extending over the entire width of the window.
- All other windows on the front elevations as well as windows on side and rear elevations that are adjacent to perimeter edges should feature trim consistent with the architectural style, or be articulated in a manner subject to approval by the DRC.
 - Aluminum or vinyl extruded frame windows should be appropriately colored to match or complement the house or trim colors for each color scheme.
 - Glazing may be either clear or tinted. Reflective glass is not permitted.

- The shape and size of shutters, when used, should be proportionate to the window opening.

Porches

- Porches, when provided, should be designed as an integral component of the building's architecture.
- Porches, when provided, are encouraged to have railings and be fully covered in one of the following ways:
 - Roof element and tile matching the residence
 - Trellis structure
 - Second floor balcony or overhang

Columns and Archways

- Columns and archways, when used, should be scaled appropriately to provide a sense of strength and support that is compatible with the architectural style of the dwelling.

Trellis and Arbors

- When used, trellis and arbors must be designed to maintain their appearance considering the climatic conditions of the valley.

Patio Covers, 2nd Story Decks and Balconies

- Patio covers, 2nd floor decks or balconies should be designed as an integral component of the architecture. Support columns should be proportional to the size of the patio cover, deck or balcony.

Detail Elements

- Detail Elements such as shutters, eave brackets, corbels, exposed rafter ends or cross beams, decorative grille work, quoins, decorative ceramic tile and / or other similar features should be used to provide visual interest to the building and be compatible with its architectural style.

Walls and Fences

- Walls and fences that are visible from streets, open space, or other public areas should be compatible in material, color, and design with adjacent architectural elements.

Exterior Lighting

- Exterior lighting fixtures should be compatible with the architectural style of the building

Accessory Structures

- Casitas, guest houses, detached garages, greenhouses, and other similar accessory structures should be compatible in design, materials, and color as the main residence.

Mechanical Equipment

- Mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas, and other such devices should not be mounted on any roof.
- Mechanical devices such as exhaust fans, vents and pipes should be painted to match adjacent roof surfaces.
- Ground mounted air conditioning units should be screened from view from streets and open space areas.
- All antenna and satellite dishes visible from any public or private street, sidewalk, open space or adjacent lot must be submitted for review and is subject to the CC&R's and all federal regulations.

Multi - Family Neighborhoods

Building Facades

Building Elevations

All elevations should be well detailed and articulated, incorporating building forms, masses, roof design and authentic details and accent features that are consistent with the architectural style of the building.

Sufficient massing and articulation of building walls should be incorporated into the building design to provide visual interest to building facades and to expansive wall planes. Such articulation may be achieved in a variety of ways, including but not limited to:

- Vertical and/or horizontal offsets of building wall planes
- Covered balconies or sun decks projecting forward of the main building wall plane
- Accentuated building elements such as entries, stair towers, or other similar features that provide horizontal or vertical offsets and break the eave line of the building.
- Incorporating a combination of building heights into the building design

- Stepping back a portion of upper floors, particularly at building corners, where feasible.

Additionally, multi-story buildings should incorporate other height reducing elements such as large open balconies, shed roof forms, material changes, etc.

Materials

- Color and material blocking should be incorporated into the preliminary architectural design so that thoughtful color use is integrated with the architecture. Color palette and application should be consistent with the architectural style of the building.
- All surface treatments or materials should be designed to appear as an integral part of the design, and not merely applied. All materials should wrap columns, porches, or balconies in their entirety.
- Generally, the color of garage doors should not unduly contrast with the primary base color of the building.

Roofs

Roof Form

- Roof treatments, including overhangs, should be consistent with the architectural style of the building.
- Variety of roof design and treatment is encouraged to provide visual interest to the neighborhood roofscape throughout Kyle Canyon, including the use of gable, cross-gable, hip, shed or a combination of these roof forms.
- Repetitious gable ends framed side to side on rear elevations are discouraged along perimeter edges of residential neighborhoods.
- Roof slopes should be consistent with the architectural style of the building.

Roof Materials

- A variety of roof materials is encouraged throughout the neighborhoods of Kyle Canyon in order to avoid a monotonous roofscape appearance. Roof materials may include barrel shaped clay or concrete tiles, flat clay or concrete tiles and shakes, and slate.
- Roof materials should be compatible with the architectural style of the building.
- Roof materials should have a matte finish to minimize glare.

- Standing seam metal roofs are permitted as an architectural accent element.
- Permitted Materials
 - Clay or Concrete Barrel Tiles
 - Concrete S-tiles
 - Clay or Concrete Flat Tiles
 - Clay or Concrete Shakes
 - Slate
 - Standing Seam Metal
- Prohibited Materials
 - Wood Shake
 - Fiberglass Shingles
 - Simulated Tile including fiberglass or metal
 - Rolled roofing material
- Solar panels are to be integrated into the roof design, flush with the roof slope. Frames should be colored to complement the roof. Mill finish aluminum frames are not allowed. Support solar equipment should be enclosed and screened from view.

Entries

Entry doors and entryways should provide a focal point to each residential unit and should be protected with overhangs, recesses, porches, trellises, or similar architectural features. In buildings where individual unit entries are from an interior corridor, if any, the main entrance into the building should be designed as a focal point of the exterior elevation.

Porches

- Porches, when provided, are encouraged to have railings and be fully covered in one of the following ways:
 - Roof element and tile matching the residence
 - Trellis structure
 - Second floor balcony or overhang
- Porches, when provided, should be designed as an integral component of the building's architecture.

Courtyards

- Courtyards, when used, should appear as an extension of the architecture of the main building.
- Courtyard walls should be finished to match the building and may be embellished with stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the building.

Window Openings

- The style of windows, including muntin patterns, should be compatible with the architectural style of the building.

Principal Windows

At least one principal window per floor should be provided on building elevations, arranged in an aesthetically pleasing composition consistent the architectural style. Principal windows need not strictly be located on each floor, so long as the total number of required principal windows is achieved on any given elevation.

Principal windows are defined as one of the following:

- Oversized window or window grouping
 - A prominent window recessed a from the surrounding wall plane.
 - An enhanced architectural surround that accentuates a prominent feature window
 - A bay window with detailing appropriate to the architectural style of the building.
 - A deep pot-shelf with corresponding roof element and corbels.
 - An overhead trellis element projecting forward of the wall plane and extending over the entire width of the window.
- All other windows should feature trim consistent with the architectural style.
 - Trim elements may be stucco, pre-cast, wood, or ceramic tile.
 - Aluminum or vinyl extruded frame windows should be appropriately colored to match or complement the building or trim colors for each color scheme.
 - Glazing may be either clear or tinted. Reflective glass is not permitted.
 - The shape and size of shutters, when used, should be proportionate to the window opening.

Patio Covers, Decks and Balconies

- Patio covers, decks and balconies, when provided, should be designed to be in scale and proportion with the architecture of the adjoining building.
- Support columns should be proportional to the size of the patio cover, deck or balcony.

Columns and Archways

- Columns and archways, when used, should be scaled appropriately to provide a sense of strength and support that is compatible with the architectural style of the dwelling.

Trellis and Arbors

- When used, trellis and arbors must be designed to maintain their appearance considering the climatic conditions of the valley.

Detail Elements

- Detail Elements such as shutters, eave brackets, corbels, exposed rafter ends or cross beams, decorative grille work, quoins, decorative ceramic tile and / or other similar features should be used to provide visual interest to the building and consistent with its architectural style.

Garage Doors

- All garage doors on residential buildings should be recessed from surrounding wall planes.
- Door lites, when used, should be appropriate to the architectural style of the building.

Walls and Fences

- Walls and fences that are visible from streets, open space, or other public areas should be compatible in material, color, and design with adjacent architectural elements.

Exterior Lighting

Exterior lighting fixtures should be compatible with the architectural style of the building

Exterior Stairs

- Exterior stairs should be designed as an integral part of the architecture.
- Stair guardrail design should be consistent with the architecture of the building.

Awnings

- Awnings, when provided, should be designed as an integral part of the architecture.
- Unacceptable awning treatments include metal (except for top-mounted “Bermuda” shutters), untreated fabric, and project names, texts, or logos.

Accessory Structures

Clubhouse, Leasing and Recreation Buildings

- Clubhouses, recreation buildings, and other support buildings should match the architectural style and detailing of the residential buildings.

Storage Buildings

- Storage buildings should have the same level of architectural detailing as the residential buildings within the project.

Detached Garages

- Detached garages, when provided, should use a similar roof treatment and building material as the residential buildings they serve.

Carports

- Freestanding carports should have the same roof design and treatment as the residential buildings within the project.
- Carports should have end walls or other screening devices with architectural detailing similar to the residential buildings.
- Carport color, including roofs, should complement the development.

Trash Enclosures

- Trash enclosures should be constructed of concrete masonry units finished similar to buildings in the development.
- All trash enclosures should have opaque metal gates that are designed compatible with the development.

Non-Architectural Elements

Mechanical Equipment

- No mechanical equipment (air conditioning/heating units, etc.) should be mounted on, or attached to, any sloped roof. Mechanical equipment, when mounted on flat roofs, must be completely screened by parapet walls at least as tall as the equipment.
- Ground mounted air conditioning units should be screened from view and located away from pedestrian paths and project amenities to the extent feasible.
- Mechanical devices such as exhaust fans, vents, and pipes should be painted to match adjacent roof surfaces.

Vents

- B' type vents for gas appliances, water heaters, and heating units should be painted to match the roof color. Such elements should be located to minimize visual impact to building elevations.

Meters

- Natural gas meters should be grouped and screened behind walls. Builders should contact Southwest Gas for minimum clearances.
- Electrical meters should be ganged and located behind doors. Builders should contact Nevada Energy for minimum clearances.
- Screen walls and electrical enclosures should be designed integral to the project's architecture.

Satellite Dishes

- All antenna and satellite dishes visible from any public or private street, sidewalk, open space or adjacent lot must be submitted for review and is subject to the CC&R's and all federal regulations.

DESIGN REVIEW PROCESS

The Master Developer shall administer all project submittals and approvals for development within Kyle Canyon with regard to the implementation of the Design Guidelines. ***All development proposals within Kyle Canyon must be approved by the Master Developer prior to submission to any applicable public agency.***

As an expression of the Master Developer's vision for Kyle Canyon, the Design Guidelines are intended to provide builders, architects, civil engineers, and others an overall direction in the design process. The criteria contained within the Design Guidelines provides examples of ways in which the vision can be achieved, however, the Master Developer strongly encourages creativity, innovation, and variety throughout the community. Builders may propose other design solutions to project development, as long as the overall intent of the community vision and Design Guidelines is achieved.

All project submittals, whether designed in strict accordance with the design criteria contained herein or with other design solutions not specifically addressed in the Design Guidelines, will be reviewed by the Master Developer to ensure that all projects achieve the goals and objectives of the vision as expressed throughout the Design Guidelines.

All parcel improvements by the builder will require review and approval by the Master Developer. Improvements requiring review include but are not limited to residential product including new construction, commercial and mixed-use projects, landscape, signage, and amenities such as parks, open play areas or community facilities and ancillary structures.

Design Review Committee (DRC)

The Master Developer shall establish a Design Review Committee (DRC) to review each project submittal. The DRC shall consist of representatives from the Master Developer along with an architectural consultant, landscape consultant, and civil engineering consultant. In addition, the DRC may consult with other professional advisors as deemed appropriate. Projects for design review shall be submitted to the Design Review Committee at the address listed below. Complete submissions are required in order for the DRC to make an expeditious review.

DESIGN REVIEW COMMITTEE
c/o Master Developer Name
Street Address
City, State, ZIP

Telephone
Fax:

Submittal Requirements

The following items must be submitted to and approved by the Kyle Canyon DRC prior to submittal to any public agency. Submittals shall be made online to the DRC or by submitting two sets of electronic CDs with all drawings in a scaleable pdf format.

- ***Builder Statement***

For each project submittal, the builder shall provide a written summary of how the proposed project fulfills the community character envisioned for Kyle Canyon as expressed throughout these Design Guidelines. Particular emphasis should be given to edge conditions and connectivity.

- ***Preliminary Concept Site Plan (Per Production Neighborhood; 1" = 40')***

The purpose of this submittal is to ensure that the overall concept of the neighborhood design, particularly regarding the layout of proposed streets and lots, is consistent with the intent of the design guidelines before the builder begins preparation of tentative tract maps. The following are required elements of the Preliminary Concept Site Plan submittal:

- Conceptual street layout
- Conceptual lot layout
- Proposed pedestrian connections
- Adjacent streets and open space
- Proposed wall types, heights and locations

- ***Detailed Development Plan (Per Production Phase; 1" = 40')***

- Proposed street locations and dimensions
- Proposed lot lines and dimensions
- Proposed pedestrian connections
- Pre-plotting of units along parcel edges that are visible from master planned roads and open space
- Building footprints (Model and elevation must be specified)
- Driveway and/or alley placement
- Wall and Fence locations and heights
- Adjacent street(s) and open space

- ***Architectural Plans (half size 1/8" scale drawings only)***

- Identify parcel number on title sheet of architectural package and/or on the title block of each page of the submittal
- Floor plans with dimensions
- Dimensioned unit floor plans and building composites for attached and multi-family products
- Floor plan modifications (if any) per architectural style
- Wrap elevations with dimensions for each architectural style (Label architectural style for each elevation)
- Enhanced elevations for corner side and visible side and rear elevations

- Material call-outs and depth of recesses or pop-outs should be identified
 - Floor area calculations including living area per floor, total living area, and garage square footage
 - Typical lot for each floor plan indicating building footprint, setback requirements, driveway locations, and sidewalk locations
 - Site plan for reference
 - All submittals in pdf format on a CD and 1/8" scale hard copy
- **Material and Color Package (Maximum Size of Board(s): 11" x 17")**
 - Noted or color coded elevations
 - Primary stucco color(s) (Actual paint chip)
 - Secondary stucco color(s) (Actual paint chip)
 - Accent and trim colors (Actual paint chip)
 - Accent material samples (Stone, Brick, Etc.) (Manufacturer's printed picture)
 - Roof tile (Actual material and color sample)
- **Landscape Plan (1" = 40')**
 - Street tree species, size and location
 - Neighborhood entries
 - Planting and fencing details

Plan Check Fees

The following plan check fees shall apply to the design review process:

Submittal Type		Fee
1	Preliminary Concept Site Plan:.....	\$tbd
2	Initial Full Submittal including:	\$tbd
	• Detailed Development Plan	
	• Architectural Plans	
	• Material and Color Sample Board	
	• Landscape Plan	
3	2 nd Submittal addressing comments from Initial Submittal:.....	\$tbd
4	Subsequent Submittals (if necessary):.....	\$tbd per submittal
5	Public Agency Submittals.....	Fee per public agency requirements. Applicant is responsible for any and all public agency fees that apply to the project submittal.

Upon review of the submittal, additional fees may be required to cover expenses incurred by the DRC. The plan check fee shall be submitted to the following:

Design Review Committee

c/o Master Developer Name

Street Address

City, State, ZIP

Telephone:

Fax:

DRC Design Review and Approval Process

The Design Review Committee (DRC), established by the Master Developer, shall review each project submittal. Within 15 working days of receipt of a complete submittal, the DRC shall recommend "approved", "approved with modifications", or "denied". The DRC shall summarize its finding in a written response letter to the Master Developer. The Master Developer shall make the final decision regarding approval of the submittal. If the Master Developer fails to notify the applicant within 30 calendar days as to its decision regarding the project submittal, then the submittal shall be deemed "approved".

The DRC shall review each submission for the design's commitment to overall community development and adherence to the Design Guidelines. The DRC is not responsible for the review of submissions to determine conformance to any applicable codes and standards established by public agencies.

Submittals that are "Approved" by the DRC may then be submitted to public agencies, if required. Submittals that are "Approved with Modifications" or "Denied" shall be revised as necessary and re-submitted to the DRC for approval. ***All submittals must be approved by the DRC prior to submission to any public agency.*** Submittals to public agencies must be accompanied by a letter from the Master Developer indicating that the project has been reviewed and approved by the Master Developer.

Administration

Amendment

The Design Guidelines may be amended from time to time by the Master Developer. Any amendment, revision, or update to the Design Guidelines shall be distributed by the Master Developer to the City of Las Vegas for review and comment. Once finalized, the Master Developer will provide the updated Design Guidelines to the parcel owner of record. The parcel owner shall then be responsible to notify and distribute the Design Guidelines to any consultants preparing submittal packages on the parcel owner's behalf.

Prevalence of Declaration

In the event of any conflict between the provisions of the Design Guidelines and the Master CC&R's for Kyle Canyon, the most restrictive shall prevail.

Miscellaneous

All items submitted during the review process shall become the property of the Master Developer. Changes to the approved plans shall be re-submitted to the DRC for approval and shall clearly identify the revision(s).

Prosecution of Work After Approval

After approval of the final plans by the Master Developer, the construction, alteration or other work described therein shall be commenced and completed in accordance with the rules set forth in these Design Guidelines and the Declarations. The Master Developer or its representative has the right to enter the lot or premises and to inspect the project for compliance with the Design Guidelines or Declarations at any time, without advance notice to the lot owner nor fear of trespass and liability.

Violations

Construction deemed by the Owner to be in violation of approved drawings, the Design Guidelines, or the Master CC&R's shall be corrected as described in the Declarations.

Recordation of Notice

Upon approval of the final plans, the Owner shall, upon written request from the applicant, provide a statement of approval in a form appropriate for recordation. The Owner may also record a notice to reflect any work which has not been approved or any approval previously given which has been revoked.

Rule Making Authority

The Owner adopts these Design Guidelines for the purpose of interpreting, applying, supplementing and implementing the provisions of the Master CC&R's pertaining to the design of site improvements. A copy of the Design Guidelines as from time to time adopted, amended or repealed shall be maintained in the office of the Owner and shall be available for inspection during normal business hours by any applicant or any architect or agent of any such applicant. It shall be the responsibility of the applicant or architect or agent of any such applicant to inform themselves as to any and all such changes of these Design Guidelines.

Liability of Committee

Provided that the Owner acts in good faith, neither the Owner nor any representative thereof shall be liable to any applicant or any other person for any damage, loss or prejudice suffered or claimed on account of the review of any plans, specifications or

materials. The review and delivery of a form of approval or disapproval is not to be considered an opinion as to whether or not the plans are defective or whether the construction methods or performance of the work proposed therein is defective, or whether the facts therein are correct or meet Clark County Building Codes.

Professional Advice

The Owner may employ the services of an architect, attorney, land planner, landscape architect or engineer to render professional advice and may charge the cost for services of such a professional to the applicant, but only after the applicant has been informed in advance such compensation shall be so charged.

Date: _____

Submittal Checklist

Builder: _____

Contact Name: _____

Address: _____

Phone No: _____ e-mail: _____

Civil Engineer _____

Contact Name: _____

Address: _____

Phone No: _____ e-mail: _____

Architect: _____

Contact Name: _____

Address: _____

Phone No: _____ e-mail: _____

Landscape Architect _____

Contact Name: _____

Address: _____

Phone No: _____ e-mail: _____

Parcel No. : _____

Land Use Category: _____

Modified Development Standards Zoning Category: _____

DRC Submittal Materials

- _____ Builder Statement
- _____ Preliminary Concept Site Plan
- _____ Detailed Development Plan
- _____ Architectural Plans
- _____ Landscape Plan
- _____ Material and Color Package
- _____ DRC Submittal Fees

